

City of Milford



CITY COUNCIL AGENDA

Monday, April 22, 2019

Joseph Ronnie Rogers Council Chambers
Milford City Hall, 201 South Walnut Street, Milford, Delaware

7:00 P.M.

PUBLIC HEARINGS

Ordinance 2019-08

Amends the Zoning Code of the City of Milford

Chapter 230 Section 230-21(b)

Article IV - Off-Street Parking and Loading/Medical and Dental Offices or Clinics

Ordinance 2019-12

Amends the Zoning Code of the City of Milford

Chapter 230 Section §230-11

R-3 Garden Apartment and Townhouse District

Southeast Neighborhood Master Plan/Transportation Improvement District

COUNCIL MEETING

Call to Order - Mayor Archie Campbell

Invocation

Pledge of Allegiance

Recognition

Proclamation 2019-05/Municipal Clerks Week

Proclamation 2019-09/Economic Development Week

Proclamation 2019-10/Honoring Outgoing Councilman Christopher Mergner

Communication & Correspondence

Unfinished Business

New Business

- Approval/Milford Little League Agreement
- Carlisle Fire Department Quarterly Update
- Alcohol Waiver/Chapter 77/Alcoholic Beverages/Riverwalk Freedom Festival
- Certification/2019 City of Milford Voter Registration
- City of Milford 2019 Comprehensive Plan Amendment/Office of State Planning/PLUS Submissions:
 - Amendment #1/SE Master Plan/TDR Receiving Areas
 - Amendment #2/Marina-Del Project/Commercial to Moderate Density Residential Future Land Use
 - Amendment #3/S. Rehoboth Boulevard Corridor/Commercial to Industrial Future Land Use
 - Amendment #4/Windward on the River Commercial & Residential/S. Rehoboth Blvd
 - Amendment #5/Kaplan Property/302 Polk Avenue/Employment to Low Density Residential
- Approval/Funding Appropriation/Riverwalk Decking & Upgrading Project Change Order
- Approval/Bayhealth Hospital/Fiber Optic Lease Agreement
- Approval/AT&T/Cell Tower Lease Agreement

EXECUTIVE SESSION

- Motion to Recess into Executive Session
 - Pursuant to 29 Del. C. §10004(b)(9) Personnel Matter

- Return to Open Session
 - Personnel Matter

Adjournment

All items, other than those on a Workshop Session Agenda, are subject to a potential vote.

SUPPORTING DOCUMENTS MUST BE SUBMITTED TO THE CITY CLERK IN ELECTRONIC FORMAT NO LATER THAN ONE WEEK PRIOR TO MEETING; NO PAPER DOCUMENTS WILL BE ACCEPTED OR DISTRIBUTED AFTER PACKET HAS BEEN POSTED ON THE CITY OF MILFORD WEBSITE.

Ⓢ Public Comment, up to three minutes per person, will be accepted.

040219 040319 040519 040819 041219 041519 041519 041819 Removed Item



TO: Planning Commission Members

FROM: Rob Pierce, Planning & Development Director

DATE: April 16, 2019

RE: Chapter 230 Amendments:
Ordinance 2019-08 - Chapter 230 Off-Street Parking and Loading
Ordinance 2019-12 - R-3 Garden Apartment & Townhouse District – Conditional Uses

Ordinance 2019-08 - Chapter 230, Article IV, Off-Street Parking and Loading

Enclosed is a code amendment to correct the parking calculation for medical and dental offices or clinics found under Chapter 230-21(B). This section of the Code was amended on July 14, 1997 changing the calculation for medical and dental offices or clinics from “1 per 100 square feet gross floor space for medical and dental offices or clinics” to “1 per 150 square feet of gross floor area for medical and dental offices or clinics.” The physical code was incorrectly changed to read “from 1 per 100 square feet gross floor space for medical and dental offices or clinics to 1 per 150 square feet of gross floor area for medical and dental offices or clinics,” as if it were providing a range for the parking calculation.

The proposed code amendment would correct the calculation to comply with what was intended under the 1997 amendment.

Ordinance 2019-12 - Chapter 230-11(C), Garden Apartment & Townhouse District, Conditional Uses

The proposed code amendment would allow a tiered approach for conditional uses for the R-3 zoning district, similar to what is provided for the permitted uses in the R-1, R-2, R-3 and R-8 zoning categories. In addition, within the R-2 zoning category, the code states all R-1 conditional uses are conditional uses in the R-2 zoning district.

The proposed code amendment would allow any of the conditional uses in R-1 and R-2 be conditional uses in R-3. This would allow uses like day-care centers, professional home occupations, schools, churches, social clubs, civic organizations, cultural facilities, and bed and breakfast operations to be conducted in R-3 zones with conditional use approval.

CITY OF MILFORD
PUBLIC NOTICE
City of Milford Zoning Code Amendment

Notice is hereby given that a Public Hearing will be held by the Planning Commission at 7:00 p.m. on Tuesday, April 16, 2019, to review and make recommendation on the below-described amendment to the City of Milford Zoning Code.

A Public Hearing will be held before City Council on Monday, April 22, 2019 at 7:00 p.m., after which a final determination will be made.

Both hearings will be held in the Council Chambers at Milford City Hall, 201 North Walnut Street, Milford, Delaware.

ORDINANCE 2019-08
Amends the codified Zoning Code of the City of Milford
Article IV - Off-Street Parking and Loading
pertaining to medical and dental offices or clinics

WHEREAS, on July 14, 1997, the City Council of the City of Milford (the "City Council") adopted an ordinance that amended Chapter 230, Zoning Code, Article V, Section 2, Subsection B; and

WHEREAS, it has been discovered that a codification error was made and the language to be deleted remains in Chapter 230, Zoning Code; and

WHEREAS, from time to time, Chapter 230, Zoning Code has been amended, language added, repealed and stricken; and sections and subsections renumbered; the last occurring on May 29, 2012 when Ordinance No. 2012-07 was adopted; and

WHEREAS, City Staff wishes to clarify the original intent of the Ordinance, now reflected in Chapter 230-21(B), by striking 'from 1 per 100 square feet gross floor space for medical and dental offices or clinics to';

WHEREAS, City Council now desires and proposes to amend Chapter 230-21(b) by correcting said codification error and upon adoption of this Ordinance, will have the same legal force and effect it intended when it was adopted on July 14, 1997.

The City of Milford hereby ordains:

SECTION 1.

That Article IV-Off Street Parking and Loading, Section 230.21(b), currently reads as follows:

Medical and dental offices or clinics [Amended 7-14-1997]	From 1 per 100 square feet gross floor space for medical and dental offices or clinics to 1 per 150 square feet of gross floor area for medical and dental offices or clinics
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SECTION 2.

That Article IV-Off Street Parking and Loading, Section 230.21(b) shall be modified where language deleted is shown stricken as follows:

Medical and dental
offices or clinics
[Amended 7-14-1997]

~~From 1 per 100 square feet gross floor space for medical and dental offices or clinics~~
to 1 per 150 square feet of gross floor area for medical and dental offices or clinics

SECTION 2. Dates.

City Council Introduction: April 8, 2019

Planning Commission Review: April 16, 2019

City Council Review/Public Hearing: April 22, 2019

022119 022219

Advertised: Beacon 02/27/19

NOTICE OF PUBLIC HEARINGS
PLANNING COMMISSION PUBLIC HEARING: APRIL 16, 2019
CITY COUNCIL PUBLIC HEARING: APRIL 22, 2019

NOTICE IS HEREBY GIVEN the Planning Commission of the City of Milford will hold a Public Hearing on Tuesday, April 16, 2019 at 7:00 p.m. for review of the below-described ordinance.

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ORDINANCE 2019-12
CODE OF THE CITY OF MILFORD
PART II-GENERAL LEGISLATION
CHAPTER 230-ZONING
ARTICLE III-AREA AND USE REGULATIONS
§230-11 R-3 Garden Apartment and Townhouse District

WHEREAS, the City of Milford has adopted a Zoning Code and one of its purposes is to create districts for said purposes to promote the health, safety, morals and general welfare of the City of Milford; and

WHEREAS, the specific zones and regulations are designed to facilitate adequate provisions of utilities, schools, parks and housing and open space; to lessen congestion on streets and facilitate the safe movement of traffic thereon; to provide safe pedestrian walkways; to stabilize and enhance property values; to prevent the overcrowding of land; to facilitate adequate provisions for doing public and private business and thereby safeguard the community's economic structure upon which the prosperity and welfare of all depends to help ensure the safety and security of home life, foster good citizenship, create and preserve a more healthful, serviceable and attractive municipality; and

WHEREAS, the City Council finds that adding the conditional use requirement meets those objectives in addition to assuring the criteria is appropriate and consistent in comparison to other districts within the City of Milford Zoning Code.

The City of Milford hereby ordains:

Section 1. Section 230-11(C) of the Zoning Code of the City of Milford is hereby amended by inserting language shown as italicized and underlined and removing language indicated by strikethrough.

§ 230-11. - R-3 Garden Apartment and Townhouse District.

In an R-3 District no building or premises shall be used and no building shall be erected or altered which is arranged, intended or designed to be used except for one or more of the following uses and complying

C. Conditional uses subject to special regulations. *All uses specified as conditional uses in the R-2 District and subject to its area regulations, and the* The following uses may be permitted with the approval of a conditional use permit by the Milford City Council in accordance with the provisions of Article IX of this chapter:

Section 2.

Dates.

Council Introduction April 8, 2019

Planning Commission Public Hearing April 16, 2019

City Council Public Hearing April 22, 2019

Please contact the City Planning Office at 302-424-8396 for additional information.

Advertised:

Milford Beacon 03/27/2019

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Advertised:

Milford Beacon 03/27/2019

City of Milford



PUBLIC NOTICE

Public Comment Session

Southeast Neighborhood Master Plan/Transportation Improvement District

Monday, April 22, 2019 @ 7:00 p.m.

The City of Milford is working with the Delaware Department of Transportation (DelDOT) to create a Transportation Improvement District (TID) in the Southeast Neighborhood Master Plan area. The City and DelDOT will work to develop a Land Use and Transportation Plan (LUTP), Capital Improvement Program (CTP) and Infrastructure Fee Program to determine the necessary transportation improvements in advance of anticipated growth and provide a more equitable means to implement needed transportation improvements amongst developers. The overall purpose of the TID is to provide transportation improvements to support land development as outlined the City of Milford's Comprehensive Plan.

An initial set of service standards are to be reviewed by City Council on April 22, 2019, and will be incorporated into the initial TID agreement between the City and DelDOT. These service standards describe the standards to which DelDOT will use in identifying transportation improvement projects that are to be built as part of the Southeast Milford TID. They in no way obligate DelDOT or the City to make specific improvements and may be amended at any time by mutual agreement provided the public is first afforded an opportunity to review and comment on the proposed amendment. Additional public meetings will be held in the future to review the LUTP, TID-CTP and Infrastructure Fee program before they are formally adopted by City Council.

Parties of interest are invited to be present and participate in the planning process. If unavailable on April 22, 2019, written comments will be accepted until April 16, 2019 at 4:30 p.m.

The review and public comment session will be held in the Council Chambers at Milford City Hall, 201 South Walnut Street, Milford, Delaware.

Please contact Planning Director Rob Pierce at 302-424-8396 with any questions or comments.

Southeast Milford Transportation Improvement District (TID)

Presented to
City of Milford Town Council

March 25, 2019



What is a Transportation Improvement District (TID) ?

- A geographic area defined for the purpose of securing required improvements to transportation facilities in that area.
- A place where land use and transportation is planned in detail in advance, such that development consistent with that planning pays a readily determined fee, instead of conducting a Traffic Impact Study and making or funding off-site improvements.
- Purpose is to better provide the transportation improvements needed to support land development in locations identified as appropriate for development in local Comprehensive Plans.



DelDOT Division of Planning

Why Create a Transportation Improvement District (TID) ?

- Comprehensive Infrastructure Planning
- TID Projects Advance in DeIDOT's CTP
- TID Fees Stay Local
- Equitable Treatment of Competing Developers
- Known Costs for Developers
- Expedited Development Reviews



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Characteristics of a Good TID

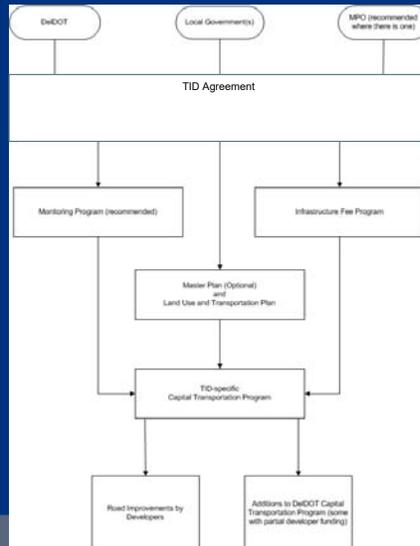
- Located in State Strategies Level 1, 2 or 3 areas
- Locations identified for planned growth in Comprehensive Plans
- Several parcels likely to be proposed for development or re-development
- Not too big, not too small
 - Henlopen TID 24 sq miles
 - Southern New Castle County TID 19 sq miles
 - **SE Milford TID** **9 sq miles**
 - Dover US 13/Bay Road Corridor TID 8 sq miles
 - Westtown and Eastown TIDs 4 sq miles
- Natural boundaries, not roads, where possible



DelDOT Division of Planning

How does a TID work?

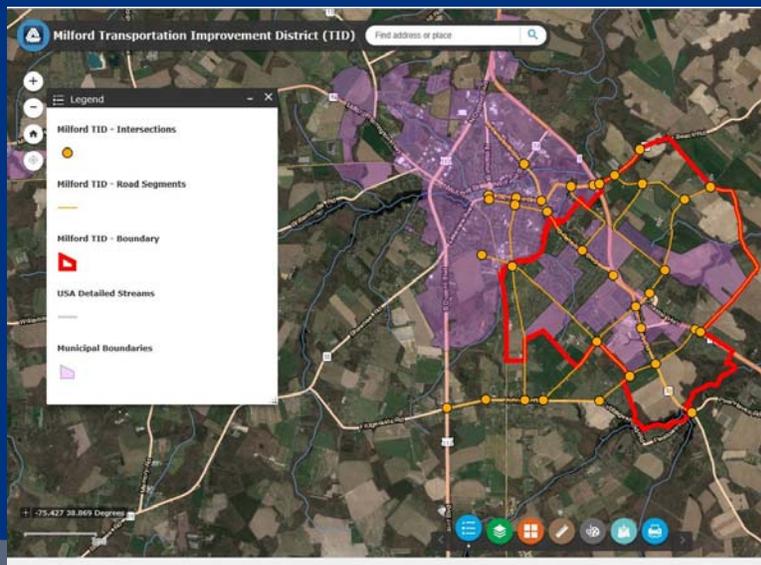
A TID starts with an agreement, a "TID Agreement", which is why I am here tonight.



Southeast Milford TID Agreement



Southeast Milford TID Initial boundaries and 2045 Horizon Year

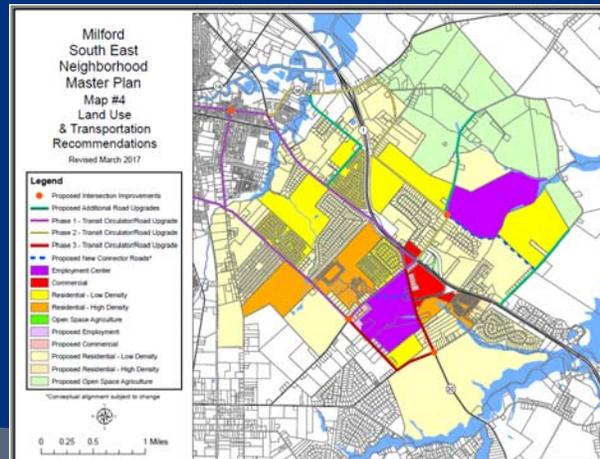


Southeast Milford TID Roles and Responsibilities

- Commitments from DeIDOT
 - Compile existing conditions report on transportation network, to inform LUTP and TID-CTP (completed)
 - Forecast traffic, based on future land use plan, on the study area road network for 2045 Target Horizon Year
 - Identify locations that need improvements to meet service standards in 2045
 - Provide concept plans for needed improvements
 - Compile land use forecast, traffic forecast, and needed improvements into Land Use and Transportation Plan (LUTP), for City review and approval

Southeast Milford TID Roles and Responsibilities

- Commitments from DeIDOT
 - Forecast traffic, based on future land use plan, on the study area road network for 2045 Target Horizon Year



Southeast Milford TID Roles and Responsibilities

- Commitments from DeIDOT (continued)
 - Identify a set of specific, buildable projects to implement needed improvements
 - Develop cost estimates for projects and update as needed, typically annually
 - Submit this TID-CTP for City review and approval
 - Give priority to TID-CTP projects in development of our CTP
 - Assist Milford with determinations of development consistency with the Land Use and Transportation Plan



Southeast Milford TID Roles and Responsibilities

- ◉ Commitments from DeIDOT
 - Require Traffic Impact Study for developments determined inconsistent with Land Use plan and that generate sufficient traffic
 - Require that manner and extent of participation be documented on record subdivision or land development plan
 - Assist Milford with review and approval of rights-of-way, design, and/or construction by developments in lieu of TID fee payments.



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Southeast Milford TID Roles and Responsibilities

- ◉ Commitments from DeIDOT
 - Determine value of rights-of-way dedications beyond what is required in Development Coordination Manual for credit against TID fees owed
 - Review and approve bids received for developer design/construction of improvements in lieu of fee payment
 - Develop the Infrastructure Fee Program, based on average weekday evening peak hour trip generation, for City review and approval (and update whenever LUTP changes)
 - Monitor traffic volumes and provide annual report on recommendations for implementation



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Southeast Milford TID Roles and Responsibilities

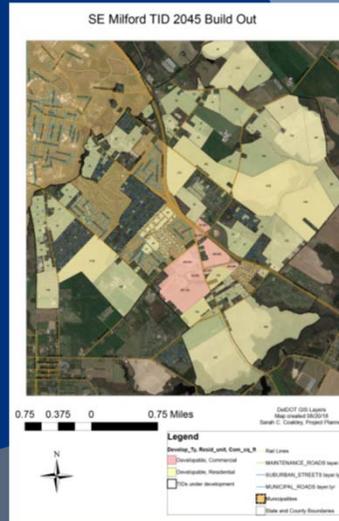
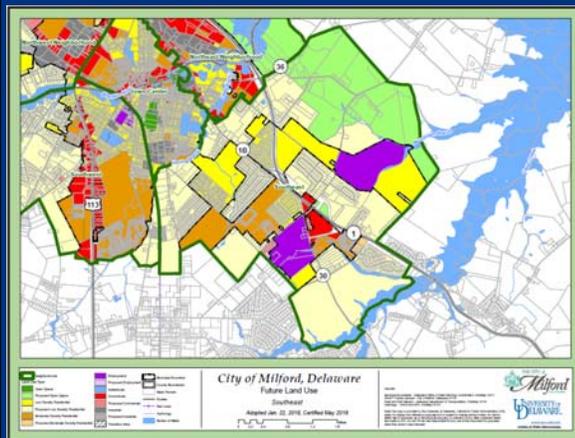
- City of Milford commitments
 - Re-evaluate TID boundaries, horizon year, service standards, and LUTP when updating Comprehensive Plan
 - Supply DeIDOT with a parcel-level land use forecast (staff completed based on Comprehensive Plan for city parcels and existing zoning for county parcels)
 - Review and approve the Land Use and Transportation Plan
 - Review and approve the TID Capital Transportation Program
 - Review and approve the Infrastructure Fee Program
 - Annually recommend TID-CTP projects for DeIDOT's CTP.



DeIDOT Division of Planning

Southeast Milford TID Roles and Responsibilities

- City of Milford commitments
 - Supply DeIDOT with a parcel-level land use forecast



DeIDOT Division of Planning

Southeast Milford TID Roles and Responsibilities

- ◉ City of Milford commitments (continued)
 - Assist DeIDOT with determinations of development consistency with the Land Use and Transportation Plan
 - Require development participation and document manner and extent of participation on record subdivision or land development plan
 - Collect TID fees prior to issuance of a building permit and hold in account established for only TID payments.
 - Assist DeIDOT with review and approval of rights-of-way, design, and/or construction by developments in lieu of TID fee payments.



DelDOT Division of Planning

Southeast Milford TID Roles and Responsibilities

- ◉ City of Milford commitments (continued)
 - Audit developer payments to contractors for developer design/construction in lieu of fee
 - Make requests of DeIDOT for specific information in monitoring reports
 - Publicize and host TID-related public meetings (at minimum, for approvals of LUTP, TID-CTP, and Infrastructure Fee Program)



DelDOT Division of Planning

Southeast Milford TID Service Standards

- Level of Service: measure of intersection control delay

Signalized Intersections		
Control Delay (sec/veh)	Volume-to-Capacity Ratio ≤ 1.0	Volume-to-Capacity Ratio > 1.0
≤ 10	A	F
>10-20	B	F
>20-35	C	F
>35-55	D	F
>55-80	E	F
>80	F	F

Unsignalized Intersections		
Control Delay (sec/veh)	Volume-to-Capacity Ratio ≤ 1.0	Volume-to-Capacity Ratio > 1.0
≤ 10	A	F
>10-15	B	F
>15-25	C	F
>25-35	D	F
>35-50	E	F
>50	F	F



Southeast Milford TID Service Standards

- Level of Service: Aspirational
 - Overall LOS for weekday morning and evening peak hours at Signalized, Roundabout, and All-way Stop-controlled intersections: D (specific approaches/movements may be E or F)
 - LOS for weekday morning and evening peak hours at Two-way Stop-controlled intersections: D for left turns from major street. Minor street approaches/movements may be E or F.
 - Aim for D for minor street stop-controlled approaches, but agree on specific remedies



Southeast Milford TID Service Standards

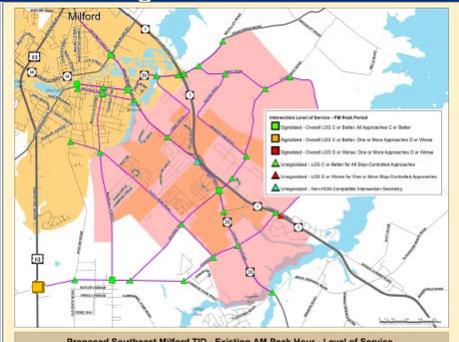
- **Level of Service: Aspirational**
 - 95th percentile queue lengths should not exceed available turning lane lengths
 - Through movements should not queue through adjacent intersections
 - Facilities to be analyzed are all at-grade intersections of one or more State-Maintained roads with other State-maintained roads; rail lines; City-maintained streets, excluding alleys; and Commercial or institutional driveways served by traffic signals



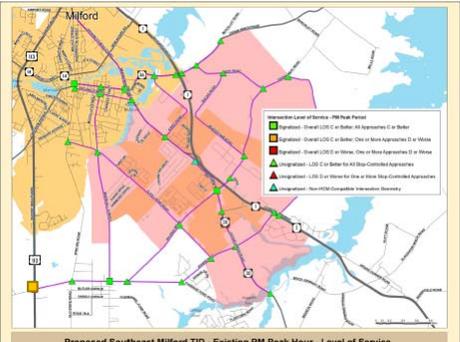
DelDOT Division of Planning

Southeast Milford TID Service Standards

- **Existing Level of Service**



Proposed Southeast Milford TID - Existing AM Peak Hour - Level of Service



Proposed Southeast Milford TID - Existing PM Peak Hour - Level of Service

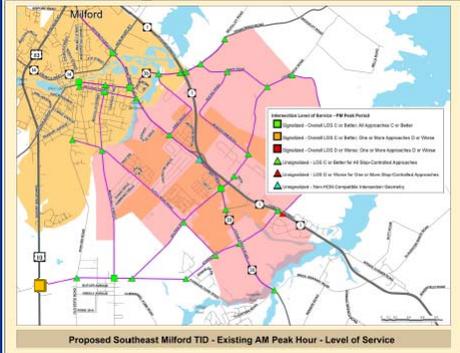
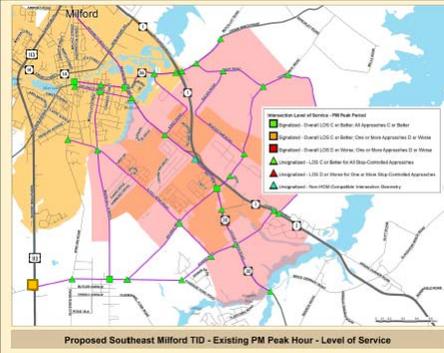
 - US 113 & Fitzgeralds Rd/Johnson Rd
 - Overall intersection LOS = C (AM & PM)
 - Fitzgeralds Rd and Johnson Rd approaches LOS E & F (AM) LOS E & E (PM)
 - Limited geometric capacity and limited green time due to US 113 green time demands



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Southeast Milford TID Service Standards

- Existing Level of Service



- SR 1 & Sharps Rd
 - Sharps Rd approach LOS D (AM)
 - Limited geometric capacity and limited gaps on SR 1 due to high traffic volumes and median cross-over requirement to access southbound SR 1



DelDOT Division of Planning

Southeast Milford TID Service Standards

- Geometric Standards
 - Use of posted speed limits is assumed
 - DelDOT will consider potential reduction of speed limits
 - Cedar Creek Rd, from Cedar Creek north, to 35 mph
 - Wilkins Rd/Cedar Neck Rd, from SR1 overpass to Elks Lodge Rd stop sign, to 35 mph
 - Elks Lodge Rd, from Wilkins Rd to Marshall St, to 35 mph
 - DelDOT Functional Classification Map, design standards, and Complete Streets Policy are assumed
 - Minimum lane widths for State-Maintained Roads
 - 11-foot through lanes
 - 10-foot turning lanes (12-foot for two-way left turn lanes, 15-foot for a right turn lane if a 5-foot bicycle lane is included)
 - 5-foot shoulders on local roads
 - 8-foot shoulders on collector and minor arterial roads
 - 10-foot shoulders on principal arterial roads



DelDOT Division of Planning

Southeast Milford TID Service Standards

● Access and Intersection Control

- DeIDOT’s Development Coordination Manual applies to access on State-maintained roads
- Subdivision streets in City will be built to City standards and for private or municipal maintenance
- Crash data, the Delaware Manual on Uniform Traffic Control Devices, and other criteria as adopted by DeIDOT will be used for intersection control evaluation and design
- Roundabouts shall be considered first as a means of intersection control, along with safety, capacity, and rights-of-way/property impacts.

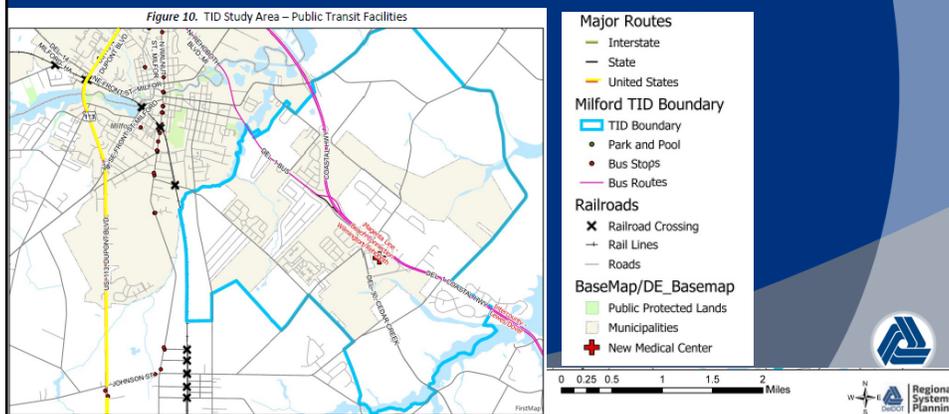


DeIDOT Division of Planning

Southeast Milford TID Service Standards

● Fixed Route Transit

- Existing DART First State bus service is assumed to continue.
- Addition of new stops and the amenities required at each stop shall be at the discretion of the Delaware Transit Corporation based on the goals and objectives of Milford’s SE Master Plan.



Southeast Milford TID Service Standards

○ Aesthetic Standards

- With the possible exception of Scenic Byways, plain bituminous pavement with Portland cement concrete curbs and sidewalks, galvanized steel signal poles and streetlight heads, grass or concrete medians and grass or bituminous-paved shoulders are assumed.

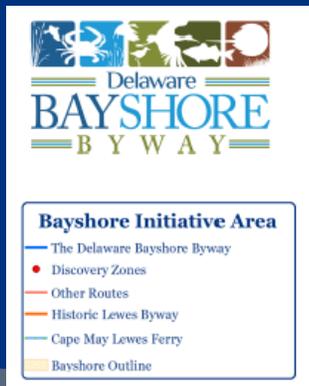


DelDOT Division of Planning

Southeast Milford TID Service Standards

○ Delaware Byways

- If a road is designated by DelDOT as part of a Scenic Byway and there is a Corridor Management Plan, and/or a Master Plan, for that Byway, the Plan(s) shall govern the implementation of these standards with respect to that road.



Southeast Milford TID Service Standards

- In the following locations, inadequate drainage is known to exist and shall be addressed as part of this effort:
 - Wilkins Road between Elks Lodge Road and Cedar Creek Road



DelDOT Division of Planning

Southeast Milford TID Service Standards

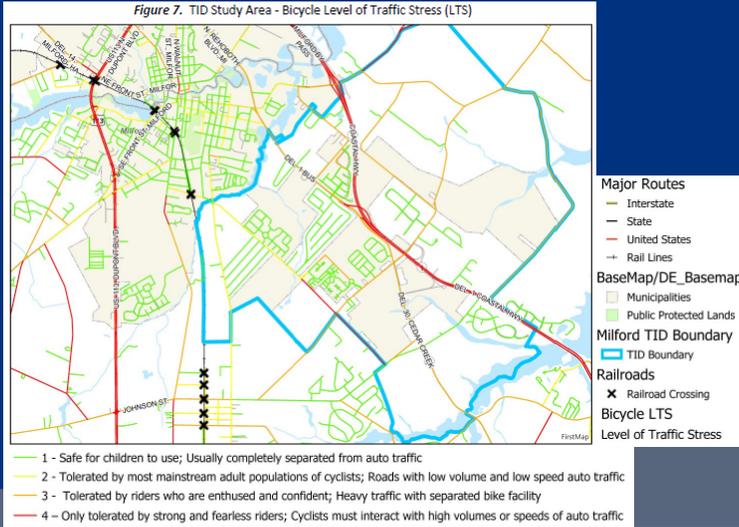
- Pedestrian and Bicycle Facilities
 - The City's Bicycle and Pedestrian Master Plan should be referenced when making design decisions related to bike and pedestrian facilities.
 - Existing and proposed pedestrian crossing treatments (at intersections and/or mid-block) should be evaluated and designed using national and local research. Preferred design is to incorporate a median refuge island to create a two-stage crossing.



DelDOT Division of Planning

Southeast Milford TID Service Standards

● Pedestrian and Bicycle Facilities

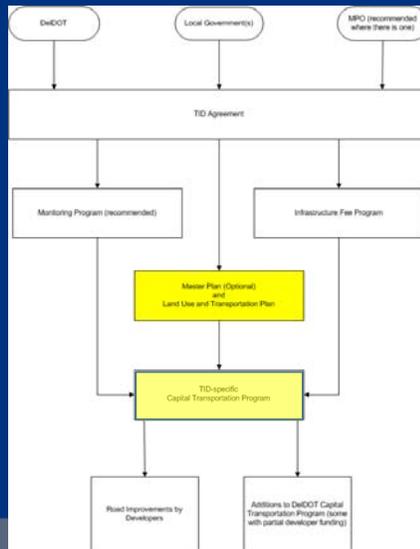


Southeast Milford TID Service Standards

● Pedestrian and Bicycle Facilities Proposed

- Shared use path extended along south side of Wilkins Rd from Bayhealth property to Elks Lodge Rd
- Shared use path along Elks Lodge Rd from Wilkins Rd to Marshall St
- Shared use path along Cedar Neck Rd and Bucks Rd for any new development, connecting Cedar Creek Rd and Route 36
- Existing bike lane in shoulder of northbound Cedar Creek Rd/S. Rehoboth Blvd. that ends abruptly at the SR1 flyover to S Rehoboth Blvd

Southeast Milford TID Next Steps



Questions?

- Please contact:
 - Sarah Coakley, AICP
Sarah.coakley@delaware.gov
(302) 760-2236



AGREEMENT REGARDING
SOUTHEAST MILFORD TRANSPORTATION IMPROVEMENT DISTRICT

BETWEEN

STATE OF DELAWARE
DEPARTMENT OF TRANSPORTATION,

AND

CITY OF MILFORD

PROJECT MANAGER: SARAH COAKLEY, AICP, PRINCIPAL PLANNER, DELDOT

THIS AGREEMENT, made and entered into this _____ day of _____ 2019, by and between the State of Delaware, Department of Transportation, as First Party, hereinafter referred to as the **DEPARTMENT**, and the City of Milford, as Second Party, hereinafter referred to as the **CITY**.

WITNESSETH:

WHEREAS, the **DEPARTMENT** and the **CITY** seek to establish a Transportation Improvement District, hereinafter referred to as the **TID**, in the Southeast Neighborhood Master Plan area, for the purpose of securing required improvements to transportation facilities in that area,

NOW, THEREFORE, for and in consideration of the mutual covenants, hereinafter stipulated to be kept and performed, it is agreed between the parties as follows:

SECTION 1. GEOGRAPHIC BOUNDARIES

- A. The initial boundaries of the **TID**, to be refined in the development of the Land Use and Transportation Plan, are shown on Exhibit A, attached hereto, and are described as follows:
1. Participant Boundary. Beginning in the northwest, where the municipal boundary intersects the Indian River Secondary Rail Line, the boundary follows Herring Branch north and east to Deep Branch, goes north along Deep Branch to Rehoboth Boulevard, runs east along the municipal boundary to Cedar Beach Road, and continues east along Cedar Beach Road to about 2,350 feet east of its split from McColley Road, follows parcel lines southeast about one mile to Cedar Neck Road, Cedar Neck Road west to Sharps Road, Sharps Road east and south to the parcel line immediately north of Beaverdam Branch, runs west and south along this parcel line and the adjacent parcel line back to Sharps Road, follows Sharps Road south and west to Coastal Highway (SR1), Coastal Highway southeast to the eastern boundary of Cedar Creek Landing, south and west along Cedar Creek and Swiggetts Pond,

runs north along the eastern property line of Logans Run, east along Johnson Road, north along Elks Lodge Road to Wilkins Road, follows Wilkins Road west to the first parcel line on the north side of Wilkins Road, follows this parcel line northwest to the municipal boundary, runs north and west along the municipal boundary to Marshall Street, follows Marshall Street south to the first parcel line on the west side of Marshall Street, this parcel line west to the rail line, and north along the rail line to the point of beginning.

2. Facilities Boundary. Beginning in the northwest, at the intersection of Rehoboth Boulevard and Walnut Street, the boundary follows Rehoboth Boulevard southeast to Southeast Front Street, Southeast Front Street west to Walnut Street, Southeast Front Street back east to Rehoboth Boulevard, Cedar Beach Road east to McColley Road, Cedar Beach Road back west to Sapp Road, Sapp Road east to Cedar Neck Road, Cedar Neck Road east to Sharps Road, Sharps Road to Coastal Highway (SR1), Sharps Road back to Cedar Neck Road, Cedar Neck Road southwest to Cedar Creek Road, Cedar Creek Road south to Fleatown Road, Cedar Creek Road back north to Johnson Road, Johnson Road east to Coastal Highway (SR1), Johnson Road back west to Cedar Creek Road, Johnson Road west to Dupont Boulevard (US 113), Johnson Road back east to Marshall Street, Marshall Street north to Elks Lodge Road, Elks Lodge Road west to Walnut Street, Elks Lodge Road back east to Marshall Street, Marshall Street north to Second Street, Second Street west to Walnut Street, Second Street back east to Marshall Street, and Marshall Street north to Southeast Front Street.
- B. The TID shall have both a Participant (inner) Boundary and a Facilities (outer) Boundary. The purpose of having two boundaries is to better provide for adequate infrastructure on all sides of developments inside the Participant Boundary. All land developments requiring a subdivision or land development plan within the City of Milford and within the Participant Boundary and all State-maintained capital transportation facilities (roads, bridges, sidewalks, bus stops, etc.) within the Facilities Boundary shall be subject to the terms of this agreement.
 - C. The boundaries of the **TID** may be amended at any time by mutual agreement of the parties in the form of a supplement to this **AGREEMENT**.
 - D. The **CITY** shall, at a minimum, evaluate the need to amend the boundaries of the **TID** in updating their Comprehensive Plan.

SECTION 2. TARGET HORIZON YEAR

- A. The Target Horizon Year for which land use, or population and employment, is to be forecast in creating the TID is 2045.
- B. The Target Horizon Year may be amended at any time by mutual agreement of the parties in the form of a supplement to this **AGREEMENT**, but shall ordinarily be at least 10 years after the most recent US Census.
- C. The **CITY** shall, at a minimum, evaluate the need to amend the Target Horizon Year of the **TID** in updating their Comprehensive Plan.

SECTION 3. SERVICE STANDARDS

- A. The parties hereby agree on a set of standards (Service Standards) for conditions in the **TID** in the Target Horizon Year, which is incorporated into this **AGREEMENT** as Exhibit B.
- B. The Service Standards include minimum acceptable Levels of Service for the weekday evening peak hour.
- C. Prior to incorporating Service Standards into this **AGREEMENT**, the parties solicited public comment on proposed standards at the **meeting** of the City of Milford City Council and considered the comments received.
- D. The Service Standards may be amended at any time by mutual agreement of the parties in the form of a supplement to this **AGREEMENT**, provided that the public is first afforded an opportunity to review and comment on the proposed amendment.
- E. The **CITY** shall, at a minimum, evaluate the need to amend the Service Standards of the **TID** in updating their Comprehensive Plan.

SECTION 4. LAND USE AND TRANSPORTATION PLAN

- A. The parties agree to work together to create a Land Use and Transportation Plan, hereinafter referred to as an **LUTP** for the **TID**.
- B. The **CITY** shall supply to the **DEPARTMENT** a parcel-level land use forecast for the **TID** area, composed of the following components:
 - 1. Existing land use as of 2017.
 - 2. Development approved and/or recorded but not yet built as of that date, including any “sunset” provisions.
 - 3. Development expected or in the land development process but not approved as of that date.
 - 4. Development not yet proposed but projected by the Target Horizon Year, based on population and employment forecasts, and the current Comprehensive Plan and zoning map.
- C. The **DEPARTMENT** shall inventory the existing transportation network and programmed improvements thereto within the **TID** area, which inventory shall include the following information:
 - 1. Functional Class and Traffic Pattern Group;
 - 2. Numbers, assignments and widths of lanes at each intersection;

3. Type of control at each intersection;
 4. Typical section and type of pavement on each road segment;
 5. Roadway geometry deficiencies in sufficient detail to determine whether the agreed upon Service Standards are met;
 6. Roadway capacity and Level of Service conditions (to the extent known) in sufficient detail to determine whether the agreed upon Service Standards are met;
 7. Presence, and frequency of transit service;
 8. Any bicycle and pedestrian facilities not covered under Item 4 above.
- D. The **DEPARTMENT** shall forecast traffic on the study area road network for the Target Horizon Year, shall determine what locations would need improvement to meet the Service Standards, in that year, and shall identify conceptually what improvements are needed in those locations.
- E. The **DEPARTMENT** shall assemble the information identified in Paragraphs B, C and D above as the **LUTP**, which the parties hereto shall, upon review and approval, adopt as an Appendix to this Agreement.
- F. When updating their Comprehensive Plan, the **CITY** shall consider the need to update the **LUTP** and shall initiate that effort if the land use forecast for the **TID** area has changed significantly. The parties hereto shall, upon review and approval, readopt the revised **LUTP** as an Appendix to this Agreement.

SECTION 5. TID CAPITAL TRANSPORTATION PROGRAM (TID-CTP)

- A. For the deficient locations identified in the adopted **LUTP**, the **DEPARTMENT** shall identify a set of projects needed to address those deficiencies and shall develop cost estimates for those projects. The **DEPARTMENT** shall update the cost estimates periodically as needed. Subject to review and approval by the **CITY**, this set of projects shall constitute the **TID** Capital Transportation Program (**TID-CTP**).
- B. The **CITY** shall annually recommend projects from the **TID-CTP** for inclusion in the **DEPARTMENT**'s 6-year Capital Transportation Program. Inclusion of recommended projects shall be subject to the **DEPARTMENT**'s normal process for development of the 6-year program. Projects included in the **DEPARTMENT**'s 6-year Capital Transportation Program shall be eligible to receive funding from the **CITY** consistent with Paragraph 7D below, in addition to applicable State and Federal funds.

SECTION 6. DEVELOPMENTS EXCLUDED FROM PARTICIPATION

- A. Where the **LUTP** has been agreed upon by the parties and a proposed development is determined by both the **DEPARTMENT** and the **CITY** to be both inconsistent with the land use element of the **LUTP**, and to generate sufficient traffic to warrant a Traffic Impact Study (TIS), the **DEPARTMENT** and the **CITY** shall require a TIS and, as necessary, off-site improvements in accordance with the **DEPARTMENT**'s Development Coordination Manual.
- B. Developments outside of the City of Milford shall be excluded from the requirements of this agreement.

SECTION 7. INFRASTRUCTURE FEE PROGRAM

- A. The **CITY** shall require that any activity requiring a subdivision or land development plan within the Participant Boundary of the TID participate in the improvement of transportation facilities within the Facilities Boundary of the TID in accordance with the current LUTP and this Agreement. The **DEPARTMENT** and the **CITY** shall require that the manner and extent of that participation be documented on the record subdivision or land development plan. The manner of participation shall be through the payment of a fee, right-of-way dedication or the construction of physical improvements identified in the TID-CTP, or some combination thereof. The extent of participation shall be in accordance with Paragraph E below. The **CITY** shall collect any fees prior to issuance of building permits. The schedule for construction of physical improvements shall be specified on the record subdivision or land development plan and shall be subject to approval by both the **DEPARTMENT** and the **CITY**.
- B. Dedication of rights-of-way in lieu of some or all of the fee shall be by agreement between the developer, the **DEPARTMENT** and the **CITY**, with payment of the fee being required if any party is not amenable to the proposed dedication. The value of the rights-of-way to be dedicated shall be determined in accordance with **DEPARTMENT** policies and regulations. The creditable area shall be determined based on highway plans acceptable to the **DEPARTMENT** and shall exclude the standard dedications provided in **DEPARTMENT**'s Development Coordination Manual, rights-of-way for any proposed streets and any lands needed to accommodate the site entrance.
- C. Design and/or Construction of physical improvements in lieu of some or all of the fee shall be by agreement between the developer, the **DEPARTMENT** and the **CITY**, with payment of the fee being required if any party is not amenable to the proposed construction. Design and Construction of improvements required by the **DEPARTMENT** or the **CITY** as part of the development's entrance construction or on-site infrastructure, e.g. subdivision streets, shall not be creditable toward the fee. At their discretion, the **DEPARTMENT** or the **CITY** may require improvements beyond the site entrance to correct an unsafe condition that they

find would be created or worsened by the proposed development. In that case, the cost of work shall be determined as above and shall be creditable toward the fee.

- D. The **CITY** shall create and administer a separate account or accounts expressly for the purpose of managing the funds needed to pay for design and construction costs of work identified in the **TID-CTP** under the terms of this Agreement. The account shall be funded by Infrastructure Fee payments from developers as called for by this Agreement. If a developer seeks to design and/or construct physical improvements in lieu of paying into the Fee, the developer shall be required to obtain a minimum of three bids for the work. The bids shall be subject to review and approval by the **DEPARTMENT**. Credit toward the fee shall be based on the developer's payments to the selected contractor, which payments shall be subject to audit by the **CITY**. To the extent that the **CITY** finds that the developer has paid the contractor more than the fee that the developer would have paid per Exhibit C below, the **CITY** may reimburse the developer, provided that the **CITY** shall maintain a positive balance in its account(s). The **CITY** may also pay the **DEPARTMENT** from the account(s) to design and build improvements identified in the **TID-CTP** sooner than the **DEPARTMENT** might otherwise construct them, again provided that the **CITY** shall maintain a positive balance in the account(s).
- E. As detailed in **Exhibit C (to be attached)**, developers shall participate in the improvement of transportation facilities within the Facilities Boundary of the **TID** in accordance with the current **LUTP** as follows:
1. In the Target Horizon Year, the **LUTP** shows that a total number of trips will be generated within the Participant Boundary of the **TID** in an average weekday evening peak hour. The total estimated cost to construct the improvements identified in the **TID-CTP** can also be determined. Development within the Participant Boundary of the **TID** can be grouped into broad land use categories, each with an associated trip generation per square foot or per dwelling unit. Therefore, for each subdivision or land development plan, the **CITY** shall require participation proportional to the number of trips generated in an average weekday evening peak hour. Where there is a question as to how to characterize a specific development, the **CITY** shall refer to the **LUTP** and may consult the **DEPARTMENT** as necessary.
 2. Improvements by the **DEPARTMENT**'s Division of Maintenance and Operations are excluded from the **TID-CTP** and are not eligible for funding through the Infrastructure Fee Program.
- F. The **DEPARTMENT** shall provide an updated Exhibit C each time the **LUTP** is amended.

SECTION 8. MONITORING PROGRAM

- A. The **DEPARTMENT** shall monitor traffic volumes with the Facilities Boundary of the **TID** and shall provide the **CITY** with an annual report of their findings and their recommendations as to what improvements in the **TID-CTP** are needed at the time of the report and what improvements in the **TID-CTP** are likely to be needed in the next six years.
- B. The extent of the monitoring effort shall be at the **DEPARTMENT**'s discretion but the **DEPARTMENT** will accommodate reasonable requests from the **CITY** for the inclusion of specific information.

SECTION 9. SCOPE OF AGREEMENT

This **AGREEMENT** constitutes the sole understanding by and between the **DEPARTMENT** and the **CITY** and nothing outside of this **AGREEMENT** shall be construed as an alteration, modification and/or revision hereof. This **AGREEMENT** shall not be modified except in writing subscribed by all parties.

SECTION 10. SUCCESSOR AND ASSIGNMENTS

The **DEPARTMENT** and the **CITY** each binds itself, its successors, legal representatives, agents, employees, officers, and assigns, to each other to this Contract.

SECTION 11. LAWS OF DELAWARE

This **AGREEMENT** and the terms thereof shall be construed in accordance with the laws of the State of Delaware.

SECTION 12. PUBLIC INVOLVEMENT

Absent a specific agreement to the contrary, to the extent that a public meeting, workshop or hearing is needed pertaining either to procedural matters relating to this agreement or to specific improvements to be made in the **TID**, said public meeting, workshop or hearing shall be publicized and hosted by the **CITY**. The **DEPARTMENT** shall send appropriate representatives to such events as necessary.

IN WITNESS WHEREOF, the parties hereunto have caused this **AGREEMENT** to be executed in quadruplicate, the date and year first above written.

FOR THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION:

ATTEST:

Printed Name _____
Director of Finance

Printed Name _____
Director of Planning

DATE: _____

DATE: _____

FOR THE CITY OF MILFORD:

ATTEST:

Honorable Arthur J. Campbell
Mayor

DATE: _____

APPROVED AS TO FORM:

Printed Name _____
Deputy Attorney General

DATE: _____

Terri K. Hudson
City Clerk, City of Milford

DATE: _____

Exhibit A to accompany Southeast Milford TID Agreement

TID Boundary Map

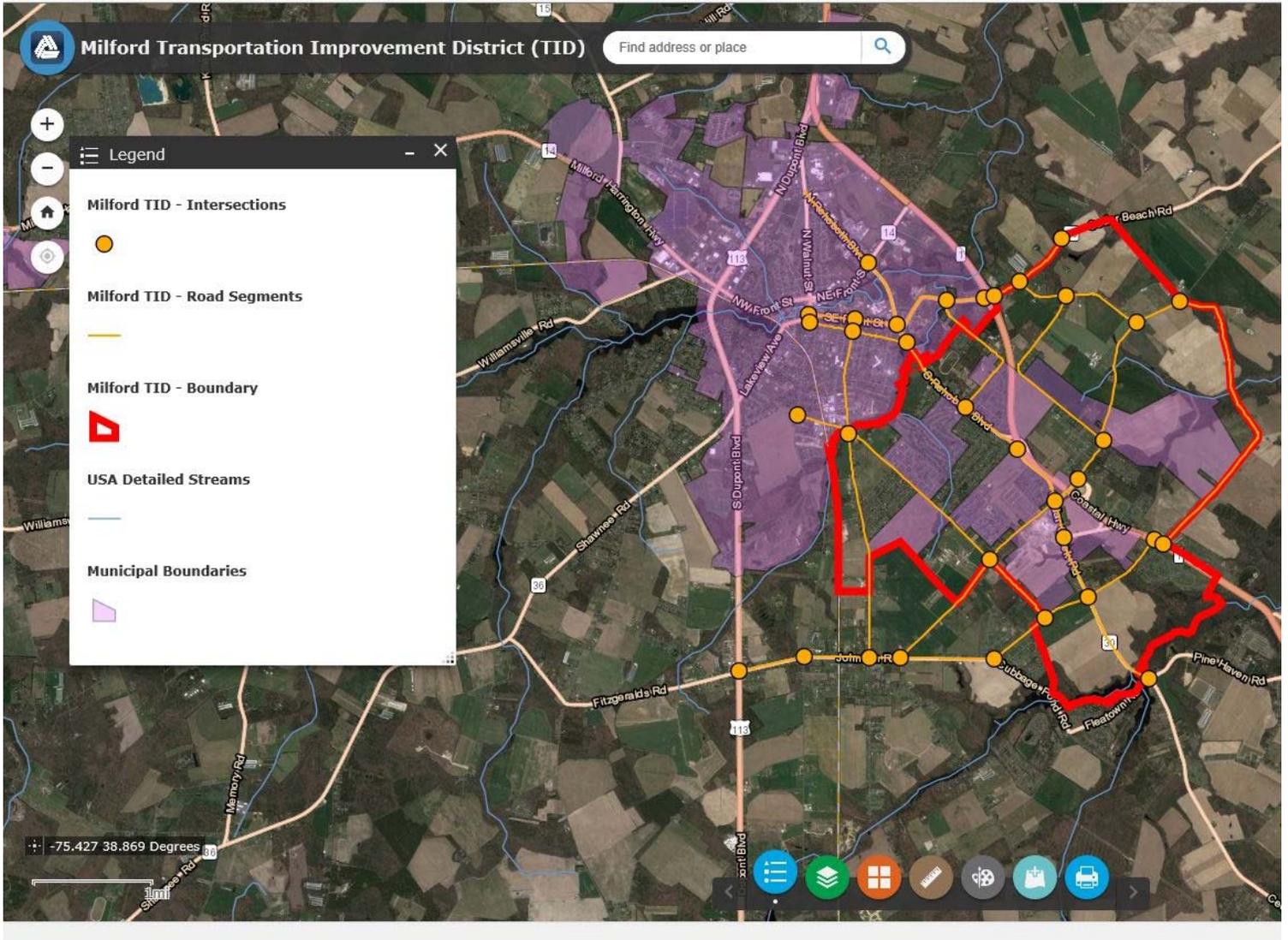


Exhibit B to accompany Southeast Milford TID Agreement

Service Standards

Draft Service Standards for Southeast Milford TID

These standards describe the standards to which DelDOT will work in developing transportation improvement projects that are to be built as part of the Southeast Milford TID. They in no way obligate DelDOT or the City to make specific improvements. They describe the form and function that improvements are to have if improvements are to be made.

I. Inside Participant Boundary

A. Capacity and Level of Service Standards

1. To account for seasonal variations in traffic, DelDOT shall adjust weekday traffic counts to approximate annual average volumes.
2. DelDOT may further adjust specific volumes to account for errors in the counted volumes where such errors become apparent and for instances where it is apparent that traffic has increased since the counts were done.
3. The same standards for all roads in the study area shall be assumed except:
 - a. None at present.
4. Use of the procedures in the 6th Edition of the Highway Capacity Manual and applicability only to the Automobile Mode are assumed except as specified in this document. Those standards are summarized in the tables below for reference.

Control delay is the delay associated with vehicles slowing in advance of an intersection, the time spent stopped on an intersection approach, the time spent as vehicles move up in the queue, and the time needed for vehicles to accelerate to their desired speed.

Signalized Intersections		
Control Delay (sec/veh)	Volume-to-Capacity Ratio ≤ 1.0	Volume-to-Capacity Ratio > 1.0
≤ 10	A	F
>10-20	B	F
>20-35	C	F
>35-55	D	F
>55-80	E	F
>80	F	F

Unsignalized Intersections		
Control Delay (sec/veh)	Volume-to-Capacity Ratio ≤ 1.0	Volume-to-Capacity Ratio > 1.0
≤ 10	A	F
$>10-15$	B	F
$>15-25$	C	F
$>25-35$	D	F
$>35-50$	E	F
>50	F	F

5. Minimum intersection Levels of Service (LOS) are as follows:
 - a. Overall Level of Service for Weekday (Monday through Friday) Morning and Evening Peak Hours at signalized, roundabout and all-way stop-controlled intersections: D. LOS for specific approaches and movements may be E or F.
 - b. Level of Service for Weekday (Monday through Friday) Morning and Evening Peak Hours at two-way stop-controlled intersections: D for left turns from the major street. LOS for minor street approaches and movements may be E or F.
 - c. For all facilities, 95th percentile queue lengths should not exceed available turning lane lengths and through movements should not queue through adjacent intersections.
 - d. For unsignalized intersections where traffic on the major street does not stop or yield, an overall intersection LOS cannot be calculated. The minimum LOS standard for stop-controlled movements shall be D. However it is recognized that where traffic volumes are insufficient to warrant delaying the through traffic with an all-way stop, roundabout or signal, this standard may be unobtainable. In such situations DelDOT and the City shall agree on what, if any, remedies are appropriate to mitigate congestion.

6. In the following specific locations, DelDOT and the City agree that improvements outside the existing right-of-way will not be required, regardless of Levels of Service and queue lengths:
 - a. None at present

7. Facilities to be analyzed shall include all at-grade intersections of one or more State-maintained roads with:

- a. Other State-maintained roads;
- b. Rail lines
- c. City-maintained streets, excluding alleys;
- d. Commercial or institutional driveways served by traffic signals.

B. Geometric Standards

1. Use of posted speed limits is assumed. The City requests consideration of reducing posted speed limits on the following roads:
 - a. Cedar Creek Road – from Cedar Creek north should be reduced to 35 mph.
 - b. Wilkins Road/Cedar Neck Road – from SR1 overpass to Elks Lodge Road stop sign should be reduced to 35 mph.
 - c. Elks Lodge Road – from Wilkins Road to Marshall Street – should be reduced to 35 mph.
2. The DelDOT Functional Classification Map, applicable DelDOT design standards, and DelDOT's Complete Streets Policy are assumed.
3. With specific regard to typical sections on State-maintained roads, the following minimum widths are required:
 - a. 11-foot through lanes;
 - b. 10-foot turning lanes (12-foot for two-way left turn lanes, 15-foot for a right turn lane if a 5-foot bicycle lane is included);
 - c. 5-foot shoulders on local roads;
 - d. 8-foot shoulders on collector and minor arterial roads; and
 - e. 10-foot shoulders on principal arterial roads.

C. Access and intersection control

1. DelDOT's Development Coordination Manual shall apply to access on State-maintained roads. Subdivision streets within the City limits will be built to City standards and for private or municipal maintenance.
2. On state maintained roads roundabouts shall be considered first as a means of intersection control in accordance with DelDOT Design Guidance Memorandum Number 1-26, incorporated here by reference. This consideration shall be part of a larger intersection control evaluation. In the assessment of the proper intersection control several factors are to be considered, including but not limited to, safety, capacity, and right-of-way need and property impacts.

3. Proposed changes to intersection control shall be based on evaluation of crash data and designed in accordance with the Delaware Manual on Uniform Traffic Control Devices and other criteria as may be adopted by DelDOT for that purpose.

D. Fixed Route Transit

Existing DART First State bus service is assumed to continue. Addition of new stops and the amenities required at each stop shall be at the discretion of the Delaware Transit Corporation based on the goals and objectives of Milford's SE Master Plan.

E. Aesthetic Standards

With the possible exception of Scenic Byways, addressed, plain bituminous pavement with Portland cement concrete curbs and sidewalks, galvanized steel signal poles and streetlight heads, grass or concrete medians and grass or bituminous-paved shoulders are assumed.

F. Delaware Byways

If a road is designated by DelDOT as part of a Scenic Byway and there is a Corridor Management Plan, and/or a Master Plan, for that Byway, the Plan(s) shall govern the implementation of these standards with respect to that road.

G. Drainage

Where new road construction is proposed to address otherwise substandard conditions, adequate drainage shall be provided as part of that construction. In the following locations, inadequate drainage is known to exist and shall be addressed as part of this effort:

1. Wilkins Road between Elks Lodge Road and Cedar Creek Road

H. Pedestrian and Bicycle Facilities

1. The City's Bicycle and Pedestrian Master Plan should be referenced when making design decisions related to bike and pedestrian facilities.
2. Existing and proposed pedestrian crossing treatments (at intersections and/or mid-block) should be evaluated and designed using national and local research. Preferred design is to incorporate a median refuge island to create a two-stage crossing.

3. Below are a list of proposed improvements or known areas of concern related to bike and pedestrian facilities;
 - a. The City would like to see the shared use path extended along the south side of Wilkins Road from the Bayhealth property to Elks Lodge Road. The City owns a strip of land that extends from Elks Lodge to Wilkins Road that could be used as an alternative off-alignment route for the shared use path.
 - b. The City would like to see a shared use path along Elks Lodge Road from Wilkins Road to Marshall Street.
 - c. A shared use path should be considered along Cedar Neck Road and Bucks Road for any new development, connecting with Cedar Creek Road and Route 36.
 - d. There is an existing bike lane in the shoulder of northbound Cedar Creek Road/S. Rehoboth Boulevard that ends abruptly at the SR1 flyover to S. Rehoboth Boulevard.

II. Outside Participant Boundary but within Facilities Boundary – Same as inside.



International Institute of Municipal Clerks

Professionalism in Local Government

CONTACT: Chris Shalby
Executive Director

FOR IMMEDIATE RELEASE
909/944-4162 (chriss@iimc.com)

IIMC ANNOUNCES 50th ANNIVERSARY OF MUNICIPAL CLERKS WEEK May 5 - 11, 2019

RANCHO CUCAMONGA – February 2019 -- The International Institute of Municipal Clerks (IIMC), a professional non-profit association with 14,500 members comprised of City, Town, Township, Village, Borough, Deputy and County Clerks throughout the United States, Canada and 15 other countries, announces its 50th Anniversary of Municipal Clerks Week —May 5 through May 11, 2019. This event features a weeklong series of activities aimed at increasing the public’s awareness of Municipal Clerks and the vital services they provide for local government and the community.

IIMC has sponsored Municipal Clerks Week since 1969. In 1984 and in 1994, Presidents Ronald Reagan and Bill Clinton, respectively, signed a Proclamation officially declaring Municipal Clerks Week the first full week of May and recognizing the essential role Municipal Clerks play in local government. During this week, Municipal Clerks throughout the world will host open houses and tours of the Municipal Clerk’s office, visit local schools and participate in other various events.

“The true worth of the Municipal and Deputy Clerk is often not realized,” said IIMC President Stephanie Carouthers Kelly, MMC, and City Clerk for the City of Charlotte, North Carolina. “But Clerks perform some of the principal functions of the democratic process.”

“One of the most important responsibilities Clerks administer is advising their municipality’s council of the legislative restrictions that apply to the ordinances and resolutions they wish to enact,” said Kelly.

MORE

Municipal Clerks Week
2-2-2-2-2

Municipal and Deputy Clerks' main function is to serve as the council's foundation. Other duties include, but are not limited to, preparing agendas, taking minutes, maintaining ordinance and resolutions files, keeping the municipality's historical records, processing permits and serving as the clearinghouse for information about the local government.

They also record the actions of the various commissions and committees appointed by the council. Many serve as financial officers or treasurers and, in small municipalities, may act as chief administrative officers. Another important responsibility is administering part or all of the local election functions.

"The public often takes the administration of an election for granted," stated Kelly. "In reality, it takes Municipal Clerks months to organize and prepare this key element in the democratic process which must be done correctly for the whole system to work."

One of local government's oldest positions is the Municipal Clerk. Their duties have expanded over the years and, today, modern technology assists them with their increasing responsibilities. To stay abreast of new computer applications, records management and other relevant information, many Municipal and Deputy Clerks return to the classroom to increase their knowledge of these issues, learn new material and sharpen old skills.

"Because some elements of government are constantly changing, Clerks must stay current of changes so they can advise their council and inform their community," said Kelly. "As the focus of each level of government changes, Clerks must also adapt."

Founded in 1947, IIMC is a professional nonprofit association with more than 14,500 members throughout North America and 15 other countries, representing municipalities with populations of 1,000 to more than 8 million. IIMC prepares its membership to meet the challenge of the diverse role of the Municipal Clerk by providing services and continuing educational development opportunities in 46 permanent college-and university-based learning centers. IIMC offers Municipal and Deputy Clerks a Certified Municipal Clerk Program (CMC), a Master Municipal Clerk (MMC) Program and other opportunities to benefit members and the government entities they serve. A 26-member Board of Directors governs IIMC.

City of Milford



PROCLAMATION 2019-05

CELEBRATING MUNICIPAL CLERKS WEEK

WHEREAS, The International Institute of Municipal Clerks (IIMC), a professional nonprofit association with 14,500 members comprising City, Town, Township, Village, Borough, Deputy and County Clerks throughout the United States, Canada and fifteen other countries, celebrates its 50th Anniversary of Municipal Clerks Week this year; and

WHEREAS, Beginning in 1969, IIMC sponsored Municipal Clerks Week and in 1984, Ronald Reagan was the first President to sign a Proclamation officially declaring Municipal Clerks Week the first full week of May, thus publicly recognizing the essential role Municipal Clerks play in local government, and the importance of their responsibilities; and

WHEREAS, The oldest professional among public servants, the Municipal Clerk's primary function is to serve as the Mayor and Council's foundation, while preparing agendas, publishing legal notices, recording and transcribing meeting minutes, drafting ordinances and resolutions, preserving historical records, administering elections, protecting the City seal, and ensuring compliance with local, state, and federal requirements in relation to contracts, grants, and other official documents and acts, all while serving as the clearinghouse for information about the City and its community; and

WHEREAS, Municipal Clerks pledge to be ever mindful of their neutrality and impartiality, rendering equal service to all; and

WHEREAS, Municipal Clerks continually strive to improve the administration of the affairs of the Office of the Municipal Clerk through participation in education sessions, workshops and meetings of their state and international professional organizations.

WHEREAS, This celebrated week is an appropriate time to recognize the exceptional accomplishments of this municipality's Office of the Municipal Clerk, and in particular City Clerk Teresa Hudson, Master Municipal Clerk and Deputy City Christine Crouch, Certified Municipal Clerk.

NOW, THEREFORE, I, ARTHUR J. CAMPBELL, MAYOR OF THE CITY OF MILFORD, do hereby recognize the week of May 5 through May 11, 2019, as Municipal Clerks Week, and extend my appreciation and applaud the untiring work ethics of Municipal Clerk Teresa Hudson and Deputy City Clerk Christine Crouch, and to all Municipal Clerks for the vital services performed and their exemplary dedication to the communities they represent.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Official Seal of the City of Milford to be affixed this 22nd day of April in the Year of Our Lord, Two Thousand Nineteen.

Mayor Arthur J. Campbell

Attest:

City Clerk Teresa K. Hudson

City of Milford



PROCLAMATION 2019-09

National Economic Development Week

WHEREAS, economic developers promote economic well-being and quality of life for their communities by creating, retaining, and expanding jobs that facilitate growth, enhance wealth, and provide a stable tax base; and

WHEREAS, economic developers stimulate and incubate entrepreneurship in order to help establish the next generation of new businesses, which is the hallmark of the American economy; and

WHEREAS, economic developers are engaged in a wide variety of settings including rural and urban, local, state, provincial, and federal governments, public-private partnerships, chambers of commerce, universities, and a variety of other institutions; and

WHEREAS, economic developers attract and retain high-quality jobs, develop vibrant communities, and improve the quality of life in their regions; and

WHEREAS, economic developers work with passion and dedication here in the City of Milford, Delaware; and

NOW, THEREFORE, I, Arthur J. Campbell, Mayor of the City of Milford, Delaware, do hereby proclaim May 6 to 11, 2019 as "National Economic Development Week" and recognize the contributions of our community economic development partners, including Downtown Milford, Inc. and the Chamber of Commerce for Greater Milford, salute the City of Milford staff engaged in Economic Development, and in particular Rob Pierce, and remind community members and business persons of the importance of this community celebration that supports expanding career opportunities and improving quality of life.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Milford to be affixed hereto this 22nd day of April 2019.

Mayor Arthur J. Campbell

Attest:

City Clerk

City of Milford



PROCLAMATION 2019-10

Honoring Councilman Christopher H. Mergner

WHEREAS, Sworn in by the Honorable William J. Walls, Jr. on June 23, 2014, Christopher H. Mergner has served as a Councilman for the City of Milford after being elected to fill the remaining term left vacant by then newly elected Mayor Bryan W. Shupe; and

WHEREAS, Christopher H. Mergner has served as a member of the Community Affairs, Public Works, Finance, Economic Development, Annexation and Charter Review Committees during that period of time; and

WHEREAS, Christopher H. Mergner also served as Milford's representative on the Kent Economic Partnership Committee beginning in 2016, providing outstanding public service to the residents and businesses in Central Delaware through his conscientious efforts; and

WHEREAS, major accomplishments have taken place during his tenure as a Councilmember of the City of Milford, including the planning and completion of the \$314 million Bayhealth Sussex Campus, riverwalk and greenway expansions, formation of private/public partnerships, initiation and implementation of downtown revitalization efforts, redevelopment of vacated subdivisions, approvals of major healthcare projects, essential transportation improvements and other capital needs; and

WHEREAS, Christopher H. Mergner has decided not to seek re-election to Council and his term expires on May 6, 2019, and

WHEREAS, Christopher H. Mergner has devoted his time and attention to these important functions and has served well in his capacity as a member of City Council.

NOW, THEREFORE, BE IT HEREBY PROCLAIMED BY THE MAYOR AND COUNCIL OF THE CITY OF MILFORD, IN COUNCIL MET:

1. The Mayor and Council express their extreme appreciation to Christopher H. Mergner for devoting his undivided attention and rendering his guidance and leadership ability to the City of Milford over the past five years.
2. Christopher H. Mergner is hereby recognized and commended for many outstanding accomplishments during his tenure as Councilmember made possible by his commitment, devotion, thoroughness, good judgment, integrity and concern. Best wishes are extended to him in his future endeavors.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of the City to be affixed hereto this 22nd day of April 2019.

Mayor Arthur J. Campbell

Attest:

City Clerk Teresa K. Hudson

Greater Kent Committee

Boyle, Mike

Wed 4/3/2019 2:18 PM

To: Norenberg, Eric <ENorenberg@milford-de.gov>; Campbell, Archie <acampbell@milford-de.gov>;

Eric:

Today's meeting Greater Kent Committee Full Membership Meeting , hosted by the Bayhealth Sussex Campus, was well attended. Speakers included:

- Terry Murphy CEO of Bayhealth who gave an overview presentation of the move from Milford Memorial in February, the planned Ambulatory Out Patient Project, located at Rt. 9 and Hudson Rd, and the planned physician undergraduate (2022) and residency (2023) training programs;

- Cathy Kanefsky of Nemours who spoke about the new Nemours Southern Campus facility now under construction on the Bayhealth Campus. The number of new jobs at this facility has yet to be determined; and,

- A representative of Dover spoke about an upcoming school referendum to fund two new middle schools, enhancements to other schools, and an increase in operating revenue.

The membership voted on four new members (one new and three replacing outgoing members).

The next meetings will be held on May 1, 2019 at Tidewater Utilities, and September 4, 2019 also at Tidewater Utilities. There will be no full membership meetings in June, July, or August. Subcommittee meetings will be held as scheduled.

I will be available to attend the May meeting.

Mike

Michael J. Boyle

Milford City Council, Ward 1
(703) 859-5609



Sussex County Association of Towns

20 W Fourth Street, Blades, Delaware 19973

S.C.A.T. Dinner for Wednesday, May 1, 2019

Town of Bethany Beach

Town of Bethel

Town of Blades

Town of Bridgeville

Town of Dagsboro

Town of Delmar

Town of Dewey Beach

Town of Ellendale

Town of Fenwick Island

Town of Frankford

Town of Georgetown

Town of Greenwood

Town of Henlopen Acres

Town of Laurel

City of Lewes

City of Milford

Town of Millsboro

Town of Millville

Town of Milton

Town of Ocean View

City of Rehoboth Beach

City of Seaford

Town of Selbyville

Town of Slaughter Beach

Town of South Bethany

Sussex County Council

LOCATION: Mango's Restaurant
97 Garfield Parkway
Bethany Beach, DE 19930

TIME: 6:00 pm – Cash Bar
6:30 pm – Dinner

HOST: Town of Bethany Beach

SPEAKER: Dan Cohen, Wireless Towers Regulations/Laws

COST: \$45.00 per person

MENU: Jerk Chicken
Grilled Shrimp
Mashed Potatoes
Vegetables
Dessert
Coffee, Tea, Soft Drinks

PLEASE RSVP TO CHRISTINE NO LATER THAN 04/23/19

For those bringing guests, please make checks payable to: Town of Bethany Beach

Duvanel Louis
113 Weather stone Lane
Felton DE 19943
302-257-9396
Duvanel.louis@yahoo.com

Rob Pierce
Planning & Economic Development Director
City of Milford
201 S Walnut St
Milford, DE 19963

April 3, 2019

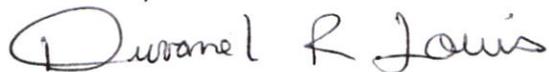
Dear: Mr. Pierce

I would like to inform you that I am resigning from my position as Planning and Zoning and Boys and girl club board advisor for the City of Milford, effective immediately.

Thank you for the opportunities for personal development that you have provided me.

If I can be of any help during this transition, please let me know.

Sincerely

A handwritten signature in cursive script that reads "Duvanel R. Louis". The signature is written in black ink and is positioned to the right of the word "Sincerely".

Duvanel R. Louis

FAIR HOUSING WORKSHOP

FREE!

WHO SHOULD ATTEND

- Elected Officials
- Planning/Zoning Commissioners
- Board of Adjustment Members
- Planning Staff
- Realtors
- Town Solicitors

WHEN AND WHERE

WEDNESDAY, MAY 8th

5:30 - 7:00pm

DOVER PUBLIC LIBRARY

35 Loockerman Plaza

Dover, DE 19901

OFFERED BY

- City of Dover
- Dover Housing Authority
- Kent County
- DE State Housing Authority

*Light snacks and beverages
will be provided!*

Please RSVP to:
Olga@DeStateHousing.com

OVERVIEW

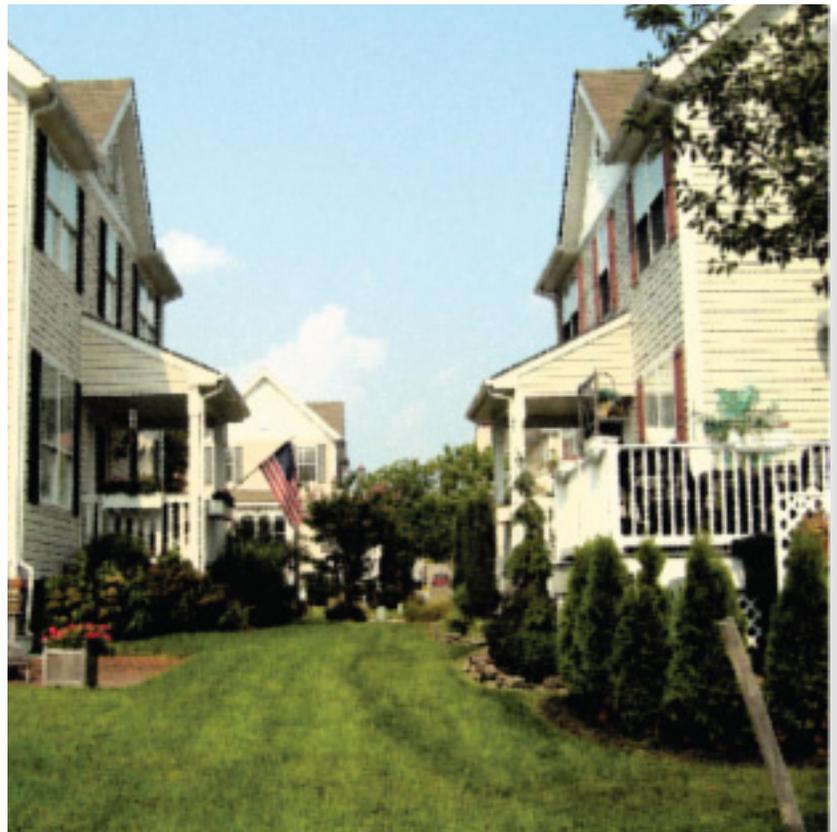
Learn how your community can advance fair housing with national expert **Jarrold Elwell** from *Enterprise Community Partners*.

A short overview will be provided of federal, state, and local fair housing laws, protected classes, and covered activities.

Specific topics also covered include:

- Affirmatively Furthering Fair Housing
- Disparate Impact
- Crime-free and Nuisance Ordinances
- Group Homes

Plenty of time for Q & A





NAACP

National Association for the Advancement of Colored People
Milford/Slaughter Neck Branch
P.O. Box 811 – Milford, DE. 19963
Phone #: (302) 422-7736

February 26, 2019

The Milford/Slaughter Neck Branch will host our Annual Freedom Fund Banquet. This event will be held 4pm on Saturday, May 11, 2019 at Milford Senior Center, 111 Park Avenue, Milford, DE. 19963.

This, as always the Milford Slaughter Neck Branch will honor a person for each category. Unsung Hero, Community Service, Youth, and Lifetime Achievement. Each year, we request our area churches and organizations to support us by choosing one of their members to honor along with our nominees.

The NAACP, *the oldest civil rights organization*, is built on the collective courage of people of all races, nationalities, and faiths united in one premise, that all men and women are created equal. The NAACP has led the fight for civil rights and social justice from the community to national boardrooms.

We invite you to help us celebrate with your attendance and support for this event to be a success. You may support by purchasing tickets or advertising in our souvenir booklet and promoting the affair to your affiliations. Please keep in mind the importance of this event and its significance to our community when considering your participation.

Please return the attached form as soon as possible via email to: Pandoriasangel@msn.com

The deadline for Bios for your nominees is March 30, 2019 and no more than one page.

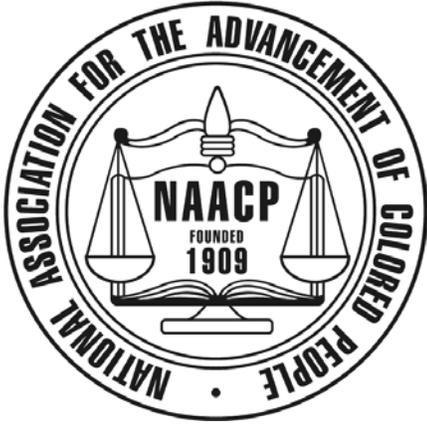
The deadline for all Ads is April 5, 2019. All Ads must be print ready. We cannot accept Ads that are written. Your Ad must be as you would like to see it the souvenir booklet.

Contact Rev. Jeanel Starling at (302) 542-3578, should you need more information.

Thank you. Your support of the programs of the Milford/Slaughter Neck Branch NAACP is greatly appreciated.

Sincerely,
Rev. Jean Wylie, President
Rev. Jeanel Starling, Program Chairperson

*N.A.A.C.P.
33rd Annual Fight for Freedom Fund
Banquet*



*Keynote Speaker:
Fayette M. Blake*

*Founder and Executive Director of Pathways to Success, Inc.
Sussex County, Delaware*

*Theme:
"With God's Help, Yes We Can"*

Saturday, May 11, 2019 ~ 4pm.

*Milford Senior Center
111 Park Ave. Milford, Delaware*

*Tickets:
Adults - \$35.00
Youth 12 and up - \$35.00
Children under 12 - \$10.00*

For more information and/or tickets, please contact:

*Rev. Jean Wylie, President – (302) 422-7736
Rev. Jeanel Starling, Chair – (302) 422-9749
Jessie Sauls, Co-Chair – (302) 270-7686*



The Delaware Municipal Electric Corporation

Board of Directors

cordially invites you to their

2019 Annual *Joint Council Briefing*

“Powering Communities Together”

PRESENTERS

Patrick E. McCullar

President & CEO, DEMEC

Kimberly Schlichting

COO/SVP, DEMEC

Wednesday, May 22nd, 2019

4:00pm to 7:00pm

(Dinner to be provided)

Dover Downs Hotel & Conference Center

Ballroom A

1131 North DuPont Highway

Dover, Delaware 19901

R.S.V.P. to Kendra by May 10th, 2019 at (302) 653-2733 or kfriel@demecinc.net

City of Milford



REVISED NOTICE OF 2019 CITY OF MILFORD MUNICIPAL ELECTION

Cast your ballot on **Saturday, April 27, 2019** between the hours of 10:00 a.m. and 6:00 p.m.

THE POLLING PLACE FOR ELIGIBLE CITY OF MILFORD 1st WARD VOTERS IS:

MILFORD CITY HALL - 201 SOUTH WALNUT STREET

Voting will not take place in the 2nd, 3rd and 4th Wards due to uncontested races.

An election will be held for the following seat:

Office of City Council–1st Ward–Two Year Term

****** Qualified Persons who wish to vote in the 2019 City of Milford Municipal Election must be properly registered in the City of Milford by March 28, 2019 ******

To determine if you are currently **REGISTERED TO VOTE**, please contact City Hall at 302-422-1111.

Qualified electors, duly registered in the 1st Ward may cast their vote by **ABSENTEE BALLOT**. If you are unable to vote at the polls, please call 302-422-1111 for information on how to obtain an **ABSENTEE BALLOT**.

The following candidates have submitted their nominating petitions to run for the Office of City Council 1st Ward:

Daniel Marabello
1 Windy Drive
Meadows at Shawnee

Samuel J. Passwaters III
319 Columbia Street

The following candidates have submitted their nominating petitions to run for the Office of City Council:

F. Todd Culotta	211 South Walnut Street	2 nd Ward Council Seat
Douglas E. Morrow	803 North Walnut Street	3 rd Ward Council Seat
Jason L. James Sr.	1 James Drive	4 th Ward Council Seat

Pursuant to 15 Del.C. 7555(j), there being only one candidate for the Office of City Council in the 2nd, 3rd and 4th Wards, said candidates are entitled to assume office without a formal election, following a declaration by the City of Milford Board of Election.

For additional information, including **ABSENTEE AFFIDAVIT AND BALLOT** questions, please contact the City Clerk's Office at 302-422-1111.

Milford Little League Agreement

Carlisle Fire Company, Inc.
PO Box 292 - 615 NW Front Street
Milford, DE 19963
Phone: 302-422-8001 Fax: 302-422-2146 Secretary: 302-422-2178

Monday, April 22, 2019

City Council
Joseph Ronnie Rogers Council Chambers
201 South Walnut Street
Milford, DE 19963

Reference: Budget Request 2019/2020

City Council Members,

The Carlisle Fire Company, Inc. is requesting \$290,000.00 for Fiscal Year 2019/2020.

Thirty-five to forty thousand will be used towards the utilities, the remainder two hundred fifty-five thousand to two hundred-fifty thousand will be used to cover a percentage of employee cost for ambulance coverage for the City of Milford.

Respectfully Submitted,

Kevin Donovan, President

Chamber of Commerce for Greater Milford, Inc.



March 25th, 2019

Milford City Council
201 S. Walnut Street
Milford DE 19963

Dear Council Members:

Once again, the Chamber of Commerce for Greater Milford is hosting the 19th Annual Riverwalk "Freedom" Festival scheduled for Saturday, September 14, 2019. As we did in the past, we will hold the event all on one day, with the vendor and children's activities beginning at 9 am on Saturday, ending with fireworks after dark that evening. The enclosed area in Bi Centennial park known as the Red, White and Brew Garden continues to be a hit, rain or shine. We are diligently planning this year's festival, so we want to begin accurately advertising the details of the event. We request permission to host the Beer Garden in Bicentennial Park again.

We will use the same layout that worked so well with the Red, White & Brew Garden, and will have a fenced off area in a small section of the park with a view of the stage. A map is attached for your information. We will be checking identifications and hand stamping those above age 21. This will allow them to purchase beer and wine with cash during the festival in the designated area. We will reserve the right to recheck identification as deemed appropriate. As the Delaware Alcoholic Beverage Control regulations permit, the designated area will be family friendly, so all ages will be permitted to enter the area. We will have the entrance/exit clearly marked with eyelevel signage that no alcoholic beverages are permitted beyond the designated area. We will have a portable restroom in the enclosed area, as well as multiple trash bins. We plan to have cornhole and food vendor(s) in the area as well. We will provide several open tents to provide shade and cover and we will follow all Delaware Alcoholic Beverage Control regulations regarding alcohol service, including obtaining a Gathering License.

The Beer Garden would open at 12 noon on Saturday, September 14th and will close at 10 PM. All beer and alcohol sales will end promptly at 9 pm.

We are requesting your approval to waive the restrictions against alcohol in the park from 11 am until 10 PM on this date. If you have any questions, please contact me at 302-588-3573 or by email at angeladorey@comcast.net. Thank you in advance for your consideration in this matter.

Sincerely,

Angela Dorey
Riverwalk Freedom Festival Chairperson
Chamber of Commerce of Greater Milford

CITY OF MILFORD

SPECIAL EVENTS PERMIT APPLICATION

EVENT INFORMATION

Event Name: Riverwalk "Freedom" Festival
 Address: Downtown Milford, Bicentennial & Memorial Park

Date/Time:
 Setup Date 9/12 - 9/13/19 Time 9am
 Event Starts Date 9/14/19 Time 9am
 Event Ends Date 9/14/19 Time 10pm
 Dismantle Date 9/14/19 Time 10pm to next day

Event Type: (see DEFINITIONS)

- Athletic Event Carnival / Circus Exhibition Fair
 Farmer's Market Festival Parade/March Street Market
 Street Fair/Block Party/Neighborhood Event

Anticipated Attendance: Daily: 5,000 Total: 5,000

Yes No Is this an annual event?

Yes No Has this event ever been held at another location? If yes, please provide references:

Location	Date	Contact Name	Phone Number

APPLICANT INFORMATION

Organization Name: Chamber of Commerce for Greater Milford
 Chief Authorizing Official, if not you: Joschmeiser / Angela Dorey
 Address: 24 NW Front St.
 City: Milford State: DE Zip Code: 19963
 Phone: 302-422-3344 Cell: 302-242-2459, 302-588-3573
 Email: j.schmeiser@milfordchamber.com
angela.dorey@comcast.net

The **Applicant** must be able to answer questions regarding the entire event and event application. He/She must be available for any planning meetings scheduled prior the event.

ON SCENE CONTACTS

Name of On Scene Contact(s): Angela Dorey
 Cell: 302-588-3573

The **On Scene Contact** is the individual in charge of the event and must be available via the phone number provided above at the event site during the setup, event times, dismantling and be in possession of the approved special event permit.

EVENT COMPONENTS

If the event includes any of the following, a detailed site plan must be submitted (see site plan instructions).

Yes No

Right of Way Usage

Will the event require any temporary closures or restrict access to streets, sidewalks, or alleys? If yes, Attachment E and Attachment F must be completed and submitted with this application.

Yes No

City Park/Facility Usage

Will the event require the use of City-owned park/property or facility?

Yes No

Mobile Food Vendors/Concessions/Vendors

Will the event have mobile food vendors, a concession stand(s) or vendors? If yes, Attachment G must be completed and submitted with this application.

Yes No

Alcohol/Wine/Liquor

If yes, Attachment H must be completed and submitted with this application.

Yes No

Inflatables

If yes, the following must be completed: TBD

Entertainment Company _____ Phone _____
Address _____ City _____
Contact _____

Proof of Insurance is required.

Yes No

Entertainment

Is there is live entertainment, DJ, band, performers, or use of a stage? If yes, Attachment I and Attachment F must be completed and submitted with this application.

Yes No

Tents/Membrane Structures

If yes, tents, multiple tents or membrane structures over 350 square feet require approval from the State Fire Marshal and City Planning Department.

Yes No

Parade/March

If yes, Attachment E and Attachment J must be completed and submitted with this application.

Yes No

Temporary Fencing

If yes, all fencing must be shown on the Site Plan and complete the following information:

Fencing Company Park & Rec Phone _____
Address _____ City _____
Contact Brad Dennehy

Yes No

Electrical Service/Generators

Will you be using generators? Yes No
Are you in need of access to the community power outlets available in the downtown business district? Yes No

In order to ensure adequate electric, please explain what the electric service be used for?

Walnut St. Vendor, Bicentennial Stage, music & lighting, Food vendors

EVENT COMPONENTS-CONT'D

Yes No

Carnival Rides

If yes, a Permit must be obtained from the State Fire Marshal's Office and the following must be completed:

Number of Rides _____

Amusement Company _____

Phone _____

Address _____

City _____

Contact _____

Proof of Insurance is required.

Yes No

Trash/Recycling Services

Do you have a company handling trash and recycling services for your event?

Vendor/Company _____

Parks and Rec. of Milford

Phone _____

302-242-2816

Address _____

City _____

Milford,

Contact _____

Brad Dennehy

If no, are you requesting Milford Public Works Department provide trash/recycling services for your event. Yes No

Yes No

Portable Restrooms

You are required to provide portable restrooms at your event, unless you can substantiate the sufficient availability of both ADA accessible and non-accessible facilities in the immediate area of the event site, which will be available to the public during your event. It is recommended that hand-sanitizing services be provided. Number of restrooms will be determined based on the number of persons expected under an assembly use. Please note restrooms may not be dumped into storm drains.

Number of portable restrooms _____

8

Of those, how many are ADA accessible _____

2

Company _____

Parks and Rec.

Phone _____

302-242-2816

Address _____

City _____

Milford

Contact _____

Brad Dennehy

Yes No

Fireworks or Pyrotechnics

If yes, applicant must contact the State Fire Marshal's Office for any and all approval regarding pyrotechnics or fireworks and a permit must be issued prior to the event start date. An inspection must be scheduled with the Fire Department prior to pyrotechnics being brought on the site.

NOTE: Fireworks companies are aware that a separate, special application must be filed with the State Fire Marshal's Office for fireworks or other pyrotechnic displays and a special permit will be issued.

Applicant/organizer shall be responsible for the cost of fire inspections and the cost of all standby fire protection as deemed necessary.

Approval of this Special Event Application shall not be deemed approval of any fireworks or pyrotechnic display.

Yes No

Is the Applicant/Organization a commercial entity?

Yes No

Is the Applicant/Organization a bona fide tax exempt, non-profit entity? If yes, you must attach to this application a copy of your IRS 501(C) tax exemption letter providing proof and certifying your current tax exempt, non-profit status.

Corporation/Organization Name _____

Chamber of Commerce of Greater Milford

State of Incorporation _____

Delaware

Tax ID# _____

51-0319055

Previously signed Contract, Eric Norenburg, Brooker's Pyro, LLC

APPLICATION CHECKLIST

Before submitting your application, make sure you review the following checklist to ensure your application is complete.

- | | | |
|-------------------------------------|-------------------------------------|--|
| Completed | N/A | |
| <input checked="" type="checkbox"/> | | Attachment A –Security Plan (REQUIRED OF ALL APPLICANTS) |
| <input checked="" type="checkbox"/> | | Attachment B –Fire and Life Safety Plan (REQUIRED OF ALL APPLICANTS) |
| <input checked="" type="checkbox"/> | | Attachment C –Medical Plan (REQUIRED OF ALL APPLICANTS) |
| <input checked="" type="checkbox"/> | | Attachment D –Sanitation (REQUIRED OF ALL APPLICANTS) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Attachment E –Streets / Traffic |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Attachment F –Temporary Street Closure |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Attachment G –Concessionaires / Vendors |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Attachment H –Liquor License |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Attachment I –Entertainment |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Attachment J –Parade |

Additional Requirements:

In addition to completing the application form(s), the applicant/organizer is required to furnish the following with their special event permit application:

- General Liability Insurance Listing the City of Milford as an Additional Insured:** Evidence of General Liability Insurance Coverage in an amount not less than one million dollars (\$1,000,000) combined single limit bodily injury and property damage for each occurrence.

To be issued @ a later date.

"The City of Milford, together with it selected and appointed officials in their individual and official capacities, it's employees, volunteers, principals, agents, officers, directors, predecessors, successors and assigns are named as additional insured with respect to liability arising out of (name of event) to be held on (dates) of the event."

Additional endorsements that may be required:

- A. If food is sold or served at the event, the insurance policy must include an endorsement for product liability in an amount not less than one million dollars (\$1,000,000).
 - B. If alcoholic beverages are served at the event, the policy must include an endorsement for liquor liability in an amount not less than one million dollars (\$1,000,000).
 - C. If the event involves the use of vehicles, the policy must also include an endorsement for automobile liability in an amount not less than one million dollars (\$1,000,000).
- Applicant hereby requests waiver of insurance under the prohibitive cost exemption (Block Party/Neighborhood Event ONLY) or under the Freedom of Speech Exemption.

Please provide explanation:

Clarification of Applicant's Status:

Applicants/Organizations claiming tax-exempt, non-profit status must include a copy of their IRS tax exempt, non-profit determination letter to the application.

APPLICATION CHECKLIST-CONT'D

- **Site Plan:** *last year copy attached. (only minor adjustments to be made)*
 Please complete a diagram of your event site. Use an 8 ½ x 11 inch sheet of paper. Include the location of all event infrastructure elements, such as:

 - An outline of the entire event venue including the names of all streets or areas that are part of the venue and the surrounding area. If the event involves a moving route of any kind, indicate the direction of travel and all street or lane closures.
 - Parking, accessible parking, drop-off and shuttle locations.
 - Fencing, barriers and/or barricades. Indicate any removable fencing for emergency access.
 - Provision of minimum twenty foot (20') emergency access lanes on public/private streets throughout the event venue.
 - First aid facilities and ambulances.
 - All stages, platforms, entertainment areas, scaffolding, bleachers, grandstands, canopies, tents, inflatables, mechanical rides, games, animals, demonstrations, children areas, portable toilets, booths, beer gardens, cooking areas, trash containers and dumpsters, and other temporary structures.
 - Food concessions and cooking area including booth identification of all vendors cooking with flammable gases or barbecue grills.
 - Generator locations and/or source of electricity.
 - Parking areas for vehicles and/or trailers.
 - Exit locations for outdoor events that are fenced and/or locations within tents and tent structures.
 - Identification of all event components that meet accessibility standards.
 - Other operational event components not listed above.

If your event starts/ends at one or more locations and uses streets/trails elsewhere in Milford (for example, a 5K run/walk that starts in downtown and uses City streets), please submit a site plan that shows the start location, direction of pedestrian flow, and end location. Please include a written course description as well.

APPLICANT AGREEMENT / IDEMNIFICATION AGREEMENT

- Yes 1. Applicant agrees, upon request, to submit a security plan setting forth the proposed security measures to be taken to protect the health, safety and welfare of the participant, spectators, bystanders and passersby. This plan may be reviewed by the Police Department who may accept, reject, alter or impose conditions upon the security plan. Security measures may include, but are not limited to, the hiring of private security or Milford Police officers at the applicant's expense. Milford Police Department has the sole discretion regarding approval of private security firms/organizations.
- Yes 2. Applicant agrees, upon request, to pay a refundable "Deposit," at least ten (10) days prior to the event as a condition of the issuance of the Special Event Permit. Applicant also agrees to pay cleanup costs, repair of damage to City property, installation and/or removal of no parking signs or barricades, unanticipated incurred personnel expenses, etc, in excess of the deposit, incurred by the City. Such cost shall be deducted from the Deposit. If there is no Deposit or if the amount of the Deposit is insufficient to cover the costs, the Applicant/ Organizer will be billed for such costs. Your deposit will be returned if the area used for the event has been cleaned and restored to the same condition as existed prior to the event. The deposit requirement may be waived if City Administration deems that such a deposit is not necessary.
- Yes 3. Applicant agrees, upon request, to notify all residents and businesses that will be affected by a street closure and/or amplified sound. If the event/closure will affect access to more than one business, the applicant agrees to notify the Chamber of Commerce for Greater Milford and Downtown Milford, Inc (for events in downtown).
- Yes 4. Applicant agrees, upon request, to ensure warning signs and barricades are provided and situated in such position that the road closure may be maintained in a safe and orderly manner. Such information can be found in the Manual on Uniform Traffic Control Devices.

Applicant agrees to submit, upon request of the City of Milford, any additional information required to evaluate this application and permit. Applicant certifies that all information contained herein and any other information submitted in support of this application and permit is true and correct to the best of their knowledge.

Applicant agrees that any false statement or material misrepresentation made in support of this application and permit is cause for denial of issuance of a Special Event Permit. Applicant also agrees that failure to adhere to the policies, procedures and ordinances established by the City of Milford or any conditions or restrictions imposed upon the permit by the Milford Police Department or any other City Department is cause for revocation of the Special Event Permit. Applicant further agrees the permit may be revoked at any time by any supervisor of the Milford Police Department, the Parks & Recreation Director, the Public Works Director or the City Manager (or designee).

Applicant agrees to protect, defend, indemnify and hold the City of Milford, its elected and appointed officials in their individual and official capacities, it's employees, volunteers, principals, agents, officers, directors, predecessors, successors and assigns (collectively, "City") harmless from any and all losses, damages, claims for damages, liability, suits, judgments, expense or cost arising from any injury or death to any person or damage to any property including all reasonable costs for investigation and defense thereof (including, but not limited to, attorney fees, court costs and expert fees) of any nature whatsoever arising out of or attributed to issuance of the Special Event Permit herein identified or the authorization thereof regardless of where the injury, death, or damage may occur, unless such injury, death or damage is caused by the sole negligence or willful misconduct of the City.



Signature of Applicant

JoAnne Schmeiser

Printed Name

4-8-19

Date



**ATTACHMENT A
SECURITY PLAN-REQUIRED**

SECURITY PLAN

As the event applicant or organizer, you are required to provide a safe and secure environment for the event. This is accomplished through sound pre-planning by anticipating potential problems and concerns related to the event and the surrounding environment and by being prepared to react during the event to any unanticipated problems. The size, type, time of day and location of your event are all items that must be analyzed in depth and addressed in your security plan. The event may require the services of Milford Police Officers, Crossing Guards and or Public Works employees. Applicant/Organizer may also need the services of a Private Security provider for this event. Private Security must be properly licensed and bonded in the State of Delaware and must be approved by the Milford Police Department.

Since most events occur during warmer weather, the applicant/organizer must also have an emergency plan for crowd safety or event cancellation during severe weather conditions.

Crowd managers (event staff) must be provided for facilities or events where more than 1,000 persons congregate. The minimum number of crowd managers shall be established at a ratio of one crowd manager to every 250 persons.

- Yes No Do you have an adequate number of crowd managers? How many? 20-30
- Yes No Will your event be requesting off-duty Milford police officers?
Number of off-duty officers requested: _____
- Yes No Have you hired a licensed professional security company to develop and manage your event's security plan?

If yes, you are required to provide a copy of the security company's valid License issued by the State of Delaware.

Name of Security Organization: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Cell: _____

Email: _____

**ATTACHMENT B
FIRE AND LIFE SAFETY PLAN-REQUIRED****GENERAL REQUIREMENTS**

- Yes An approved, available method of notifying public safety agencies in the event of an emergency shall be provided prior to the start of any outdoor special event. On-site phones, or cellular phones, may fulfill this requirement. In Milford, the emergency number is 911.
- Yes Fire apparatus access shall be maintained throughout all areas of the event. Consideration shall be given to various event functions and Fire Department access to structures within the event area. Minimum fire department access dimensions are 24 feet wide, 14 feet high, with an outside turn radius of 55 feet and an inside turn radius of 35 feet.
- Yes All temporary electrical wiring shall be in accordance with the National Electric Code. Wire feeds and drops shall be run above pedestrian walks, buried, or so located as to not create a trip hazard. All trailer mounted generators must be grounded and have a 40BC fire extinguisher near each unit.
- Yes N/A Fueling or defueling vehicles, generators, or equipment is prohibited during event hours unless approved prior to the event.

PUBLIC ASSEMBLY PERMIT

All public assemblies of more than 49 people in buildings or areas that are not regularly classified for use as public assembly sites must be reviewed and approved by the State Fire Marshal's Office for compliance with the fire code. Examples include barricaded streets and other defined venues, fenced beer gardens, concerts, tent events, trade shows, or use of a warehouse or other building not classified for public assembly for a special event venue. As part of the permit requirements, onsite stand-by and inspection services may be required due to the size, complexity and/or unique safety issues regarding the activities associated with the proposed event.

TENT PERMIT

- Yes N/A A floor plan shall be approved for interior setup of all tents. Location of chairs, tables, stages, aisles, exits, fire extinguishers, etc. shall be shown on the plan. Tents, multiple tents or membrane structures over 350 square feet require approval from the State Fire Marshal's Office and City Planning Department. Site inspection is required. Minimum separation from any property line, building line, other tent, canopy or other temporary membrane structure shall be 20 feet.

SPECIAL REQUIREMENTS

1. Amusement rides and buildings used for "haunted houses," "fun houses," or other special amusements require approval from the State Fire Marshal's Office and City Planning Department.

MEDICAL PLAN

Large capacity events (over 1,000 attendees) have the potential of quickly overwhelming emergency response (fire, ambulance) agencies that are not staffed for these emergencies. Calling '911' when an injury occurs is normal. Expecting emergency responders to handle an incident with multiple injured people can rapidly and unexpectedly exceed the capability of those services. The applicant/organizer must provide an approved emergency medical service on site during an event, as follows:

Emergency Medical Services Resource Matrix				
Event Type	Crowd Size	On-site access to 911 and CPR	On-site basic first aid station	On-site Basic Life Support ambulance
Concert, musical festival, block party, street fair	Less than 2,500	Required	Required	Optional
	2,501-15,000	Required	Required	Required
Athletic/sporting event	Less than 2,500	Required	Required	Optional
	2,501-15,000	Required	Required	Required
Parade	Less than 2,500	Required	Required	Optional
	2,501-15,000	Required	Required	Required

Yes No Based on the size and nature of your event, have you secured an Ambulance service to be onsite for the entire duration of the event?
 Service Name: Sussex County EMS

Yes No Has applicant/organizer hired a professional emergency medical services provider to develop and manage the event's medical plan?

If yes, please complete the following:

Medical Service Provider: Sussex County Emergency Medical Services
 Address: P.O. Box 589
 City: Georgetown, State: DE Zip Code: 19947
 Phone: 302-854-5050 Cell: _____
 Email: gmarshall@sussexcountyde.gov



SANITATION AND CLEAN UP

Who will return the event location/route and surrounding areas to pre-event condition?

Volunteers 20+
and Parks & Recreation Dept.

How will the event location/route and surrounding areas be cleaned up?

Brad Dennehy

Business name of company responsible for cleanup: _____

State of Delaware License Number: _____

Address: _____

City: _____

State: _____

Zip Code: _____

Phone: _____

Cell: _____

Email: _____

Event location and adjacent areas must be returned to "pre-event" condition. Refer to the section regarding "Deposit" on Page 10 for further explanation.

STREETS / TRAFFIC

Is your event going to temporarily close or obstruct, delay or interfere with the normal flow of vehicular or pedestrian traffic to any of the following?

- | | | | |
|---|-----------------------------------|--|---|
| <input checked="" type="checkbox"/> Close | <input type="checkbox"/> Obstruct | <input type="checkbox"/> No | Streets |
| <input type="checkbox"/> Close | <input type="checkbox"/> Obstruct | <input checked="" type="checkbox"/> No | Sidewalks |
| <input checked="" type="checkbox"/> Close | <input type="checkbox"/> Obstruct | <input type="checkbox"/> No | Parking lots <u>Park Place and Fur Baby parking lots and side lot</u> |
| <input type="checkbox"/> Close | <input type="checkbox"/> Obstruct | <input checked="" type="checkbox"/> No | Other facilities such as parks, schools, churches, or vacant lots |

If a street will be closed, the applicant/organizer must notify residences and businesses affected by the event. If more than one business is affected, it is also necessary to notify the Chamber of Commerce for Greater Milford and Downtown Milford, Inc (for events downtown). See Attachment F for notification letter.

If this event requires street closure(s), please include on the Site Plan the location of barricades and traffic control personnel. You will be required to obtain traffic safety equipment for the safe closure of the venue and to ensure proper detour and parking information is posted. Depending upon the type of event, you may need barricades, traffic cones, directional signage, etc. It is the responsibility of the applicant/organizer to obtain and to properly place this equipment prior to the beginning of the event. The Police Department will assist you with your traffic plan, if needed.

- Yes No Are you seeking use of any City owned traffic safety equipment (i.e. barricades, safety cones, etc.)?
If yes, please explain the type equipment and number requested. The City will drop off and set up requested equipment.

Type of Equipment:	<u>Type 3 Street baracades</u>	Number Requested:	<u>12</u>
Type of Equipment:	<u>Orange cones</u>	Number Requested:	<u>12</u>
Type of Equipment:	<u>Detour signs</u>	Number Requested:	<u>5</u>

If a street closing is approved, the applicant/organizer is responsible to ensure emergency vehicles may still access buildings in the area as necessary.

All traffic and pedestrian control devices on all streets and highways open to public travel in Delaware must conform to the Delaware Department of Transportation, Manual on Uniform Traffic Control Devices, part 6.

- Yes No Will the event involve the use of a parking and/or shuttle plan?
If yes, attach a copy of the plan including anticipated parking spaces needed, path of shuttle and location of directional signage for guests.

- Yes No Are you seeking to restrict parking before, during or after the event?

If yes, explain: Park Place Lot to be closed on 9/14/19 starting 5am
Fur Baby Lot from N.E. Front entrance to close 9/13 from
5am. Will not reopen 9/14/19 @ 11pm.



**ATTACHMENT F
TEMPORARY STREET CLOSURE OR AMPLIFIED SOUND**

NOTICE OF TEMPORARY STREET CLOSURE OR AMPLIFIED SOUND

(You may mail or hand deliver this completed document to surrounding properties to notify them of a proposed street closure or amplified sound; it may be reproduced as needed.)

Notice to Occupant:

The City of Milford requires that all affected residents and/or businesses adjacent to a proposed street closure or amplified sound be notified of such.

A temporary street closure has been requested adjacent to your property on the following dates and times. Amplified sound has been requested adjacent to your property on the following dates and times.

Date(s): 9-14-19

Time(s): 9am to 10pm

The purpose of the proposed street closure or amplified sound is the (Name of Event): Riverwalk "Freedom" Festival

Applicant/Organization: Chamber of Commerce for Greater Milford

Name of Contact Person: Jo Schmeiser or Laurie Judd

Means of Contacting via either Address/ Phone/ Email: 302-422-3344 milford@milfordchamber.com

We normally do announcement in milford Chronicle.

CONCESSIONS/VENDORS

Yes No Will items or services be sold at your event?

Yes No Will food or beverages be provided, distributed or sold at the event?
If yes, applicant/organizer must contact the State of Delaware Division of Public Health for a permit at (302) 744-4556. Copies of Health Department inspection forms may be requested by the City of Milford prior to the event.

Event Organizers that will have vendors at the special event are required to submit a list of all vendors to the City Clerk's Office (below). Changes to this list may be made up to a week before the event and must be in writing. Vendors not included on the list submitted will not be permitted to operate at the Special Event. Please note Mobile Food Trucks will not be permitted to park near storm drains.

To be determined at a later date closer to event.

Vendors Working Event:

#	Name of Business	Owner(s) Name(s)	Phone
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

Yes No Will the event be professionally catered?

If your event is being catered, please provide the following information:

Name of Licensed Caterer: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Cell: _____
 Email: _____

Yes No Will there be animals present (i.e. petting zoo, circus, pony rides, dogs, other)?
 If yes, please specify the type and number of each animal.
 Animal? pony rides How many? _____
 Animal? petting zoo, Alpaca, goat, sheep, (2) How many? 2 of each
 Animal? bunnies (2) and a turtle. How many? _____

Add additional pages to list addition animals, if necessary.

The Milford Code, Chapter 78 regulates animals within the City limits.
Applicant/Organizer must comply with all provisions.

As the event applicant/organizer, you are required to comply with all City, County, State and Federal Disability Access Requirements applicable to the event.

ALCOHOLIC BEVERAGES

If your event is providing, distributing, selling or dispensing alcoholic beverages, it may require a temporary alcohol permit, and if so you will need to submit an application for a permit to the Delaware Office of Alcoholic Beverage Control Commissioner which can be reached at (302) 577-5222. Applications are available at: <http://date.delaware.gov/OABCC/forms-applications.shtml>

Check all that apply:

- Free Alcohol
- Alcohol Sales
- Free and Sale Alcohol
- Sampling of Alcohol
- Beer
- Beer and Wine
- Beer, Wine and Distilled Spirits

Do you plan to secure a:

- Gathering License
- Extension of Premises License

Please describe your security plan to ensure the safe offering of alcohol at your event.

Secured fenced area, volunteers @ each entrance and exits
to assure no alcohol leaves the secured area.

If applying for a Gathering License, the following must be provided:

Chamber of Commerce for Greater Milford

Organization Name

IRS 501(C)3#

Joanne Schmeiser

Name of contact at Organization

302-422-3344

Phone

Joanne Schmeiser

On-site Agent Responsible for Alcohol

How will attendees over the age of 21 be identified?

Responsible adult volunteers checking ID's and hand stamp

What controls will be used to keep attendees under the age of 21 from obtaining alcohol at the event?

Only hand stamped individuals will be served alcohol

Volunteers monitor activity beer + wine sales + consumption.

ENTERTAINMENT

Yes No Is there any live entertainment, DJs, bands, or performers occurring during your event?
If yes, Attachment F must be completed and submitted with this application.
Please complete the following:

Number of stages: 2 Bicentennial Park and Library Ampetheatre

Number of performers/bands: 8

Type of music: Top 40 hits, country, Rock, Classical

Please describe the sound equipment that will be used for your event:

Digital mixer + speakers.

Yes No Will sound checks be conducted prior to the event?

Start time: 9 am Finish time: 9 pm

Yes No Will sound amplification be used?

Start time: 9 am Finish time: 9 pm

Yes No Will there be a contracted sound company on site?

If yes, who: Plead the 5th (Mark Johnson)

Yes No Does your event include any casino games, bingo games or drawing opportunities?

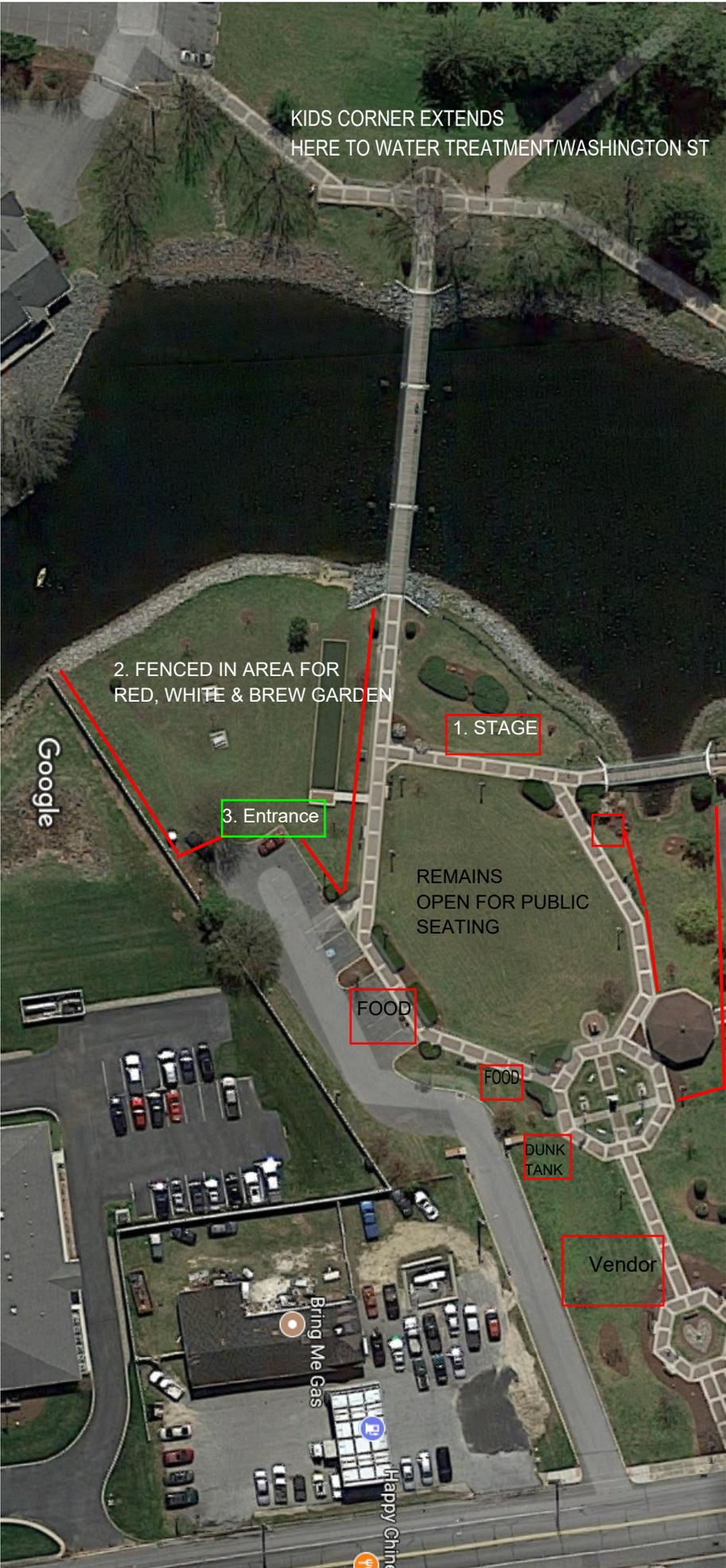
If yes, describe: _____

Yes No Will a temporary stage canopy be used?

If yes, please see "Tent Permit" on page 12.

School and dance clubs, etc. performances
@ the library ampetheater.

Riverwalk "Freedom" Festival
 Red, White & Brew Garden
 Open: 12:00 noon to 9:00 pm
 (Fireworks at dark)
 Layout of Bicentennial Park:
 1. Stage location to level location still visible to all in Bicentennial Park
 Various entertainment, live bands throughout the day beginning at 12 noon.
 2. Enclose area with temporary fencing from Walking Bridge to Parking area and over to Growmark Fence.
 3. Entrance to area for all ages, ID checked and ages 21 over will get a specific stamp/wristband for ability to purchase beer/wine.
 -Various food vendors in park and along portion of parking lot in front of Fur-baby.
 -Memorial Park will be set up as Kids area from 9 am to beginning of Fireworks at Dusk continuing over to Washington St.



Imagery ©2017 Google, Map data ©2017 Google

50 ft

- FOOD
- FOOD
- FOOD
- FOOD

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Abbott	Kathleen VanVorst	3	702	N Washington Street		
Abel	April Allyson	1	4101D	Fullerton Court		Hearthstone Manor
Abel	Patrick Whitaker	2	5	Sunset Lane		
Abrams	Martha Ann	4	714	Parson Thorne Apartments		
Adams	Gregory W.	3	811	N Walnut Street		
Adams	John Joel	1	313	Fisher Avenue		
Adkins	Glenda Denise	2	421	Kings Highway		
Adkins	William C.	2	421	Kings Highway		
Alban	Elizabeth Bounds Davis	1	5	Fairway Court		Orchard Hill
Aleman	Isamar	2	7317	Clubhouse Drive		Milford Ponds
Ali	Denise Ann	4	403	Parson Thorne Apartments		
Allen	Christine A.	1	702	Lindsay Lane		Matlinds Estates
Allen	Ernest Jr.	1	200	Matthew Circle		Matlinds Estates
Allen	Linda Ann	1	27	Little Birch Drive		Hearthstone Manor
Allen	Robert Dale	1	27	Little Birch Drive		Hearthstone Manor
Altman	James E.	1	134	Rock Ledge Court		Hearthstone Manor
Ament	Patricia C.	1	3701D	S Sagamore Drive		Hearthstone Manor
Amory	Bridget R.	2	604	S Walnut Street		
Amory	Michael Joseph	2	604	S Walnut Street		
Amory	Richard Raymond	2	604	S Walnut Street		
Andersen	Harry C.	1	501	Maple Street		Marshall Commons
Anderson	Barbara J.	1	309	Matthew Circle		Matlinds Estates
Anderson	Elizabeth A.	2	32	McCoy Street		
Anderson	Lauren Oliver	2	412	NW Front Street		
Andrews	Ann Lee	1	205	Matthew Circle		Matlinds Estates
Andrews	Kathryn J.	1	702	Lindsay Lane		Matlinds Estates
Andrews	Terry M.	1	205	Matthew Circle		Matlinds Estates
Antonik	Carol Susan	2	415	Woodland Drive		Lakelawn Estates
Antonik	Christopher G.	2	415	Woodland Drive		Lakelawn Estates
Argenio	Armand	1	401	Marshall Street		
Artis	Jimmy F.	2	117	Causey Avenue		
Artis	Odessa P.	4	102	Bright Way		Brightway Commons
Atkinson	Albert Terry	3	19635	Drummond Drive		Fork Landing
Atkinson	Angela	3	19635	Drummond Drive		Fork Landing
Attard	Nathan James	4	126	NW Second Street		
Aures	Kerline	4	301	NW Front Street	2	
Austin	Christine	3	610	SE Second Street		
Austin	Gladys A.	1	4201B	Summer Brook Way		Hearthstone Manor
Austin	Keith A.	1	304	Matthew Circle		Matlinds Estates
Austin	Veronica D.	1	304	Matthew Circle		Matlinds Estates
Austin	William Cornelius	1	118	W Green Lane		Orchard Hill
Awayes	Maha	2	511	Kings Highway		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Azzanesi	Margaux Fischer	1	9	E Green Lane		Orchard Hill
Azzanesi	Steven	1	9	E Green Lane		Orchard Hill
Bacon	Kathleen L.	2	903	S DuPont Boulevard		
Bacon	Paul W. Jr.	2	903	S DuPont Boulevard		
Bacon	Paul W. Sr.	2	903	S DuPont Boulevard		
Baer	Brian Curtis	3	19593	Drummond Drive		Fork Landing
Bailey	Jay E.	2	602	Marvel Road		Lakelawn Estates
Bailey	Patricia L.	2	999	S DuPont Boulevard		
Bailey-Brown	Helen	1	103	Rock Ledge Court		Hearthstone Manor
Baker	Donna Louise	1	108	Marlin Court		Orchard Hill
Baker	Gary Colbert	1	103	Barksdale Court		Hearthstone Manor
Baker	George R.	1	607	S Washington Street		
Baker	James L.	4	4	Salevan Place		
Baker	James Lynn	1	108	Marlin Court		Orchard Hill
Baker	Lester Samuel	4	126	NW Second Street		
Baker	Mariann Elizabeth	1	103	Barksdale Court		Hearthstone Manor
Baker	Patricia M.	2	515	Lakeview Avenue		
Baker	Robert E. Jr.	1	7	E Thrush Drive		Meadows at Shawnee
Baker	Ronald R.	2	515	Lakeview Avenue		
Baker	Sally F.	1	7	E Thrush Drive		Meadows at Shawnee
Baksany	George	1	4	Delores Court		Orchard Hill
Baksany	Judith J.	1	4	Delores Court		Orchard Hill
Banks	John Lewis	2	302	Kent Place		
Banks	Mark Robin	2	801	S Walnut Street		
Banks-Scott	Tiana Kecia	3	41	General Torbert Drive		Sawmill Village
Baran	Donna M.	1	5203	E Pebble Lane		Hearthstone Manor
Barker	Barbara A.	1	165	Hickory Branch Court		Hearthstone Manor
Barnes	Paige B.	1	5	Hickory Branch Lane		Hearthstone Manor
Barr	Clare Heafey	2	226	Jefferson Avenue		
Barr	Linda K.	2	226	Jefferson Avenue		
Barr	Robert T.	2	226	Jefferson Avenue		
Bason	Claudia	1	400	Matthew Circle		Matlinds Estates
Bason	Frank J.	1	400	Matthew Circle		Matlinds Estates
Bausch Jr	John W	2	100	Sussex Avenue		
Baylis	Kathleen Marie	3	213	East Street		
Baynard	Bertha J.	4	611	North Street Ext		
Baynard	Shelly Althea	3	17	General Torbert Drive		Sawmill Village
Baynard	Tamara D.	3	401	SE Front Street	A	
Beach	Janet D.	2	5879	Old Shawnee Road		
Bechtold	John Donald	2	507	Caulk Road		Lakelawn Estates
Beckett	Vivi V.	4	114	Bright Way		Brightway Commons
Becton	Marcella Dayan	4	606	N Church Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Becton	Sherron C.	4	606	N Church Street		
Beeson	Linsey J.	1	4001A	Fullerton Court		Hearthstone Manor
Bellia	Margaret Mary	1	101	Aspen Court		Hearthstone Manor
Bellia	Matthew J.	1	101	Aspen Court		Hearthstone Manor
Bender	Doreen Alderfer	3	704	SE Second Street		
Benedict	Richard	2	603	Lakelawn Drive		Lakelawn Estates
Benedict	Ruth Ellen	2	603	Lakelawn Drive		Lakelawn Estates
Beneventano	Steven	1	10	Big Pond Drive		Meadows at Shawnee
Benham	Joselyn R.	2	500	S DuPont Boulevard		The Heritage
Benn	K. Gwenn	1	701	Beechwood Court		Marshall Commons
Bennett	Gina R.	3	19	Columbia Street		
Bennett	Karen Mary	2	301	Lakeview Avenue		
Benson	Nancy	4	105	N Landing Drive		Knotts Landing
Benton	Laura S.	3	211	East Street		
Bernadzikowski	Donna L.	1	13	E Bullrush Drive		Meadows at Shawnee
Bernadzikowski	Walter R.	1	13	E Bullrush Drive		Meadows at Shawnee
Bernhart	William Laverne	2	103	Montgomery Street		
Berry	Kyle Ryan	2	422	S Walnut Street		
Better	Barbara P.	3	1	Governor Burton Court		Sawmill Village
Betts	Daniel P.	2	455	Kings Highway		
Betts	M. Dean	3	47	Cedar Beach Road		
Betts	Mary Colleen	3	47	Cedar Beach Road		
Betts	Nancy J.	1	403	Ballpark Lane		
Biggs	Kathleen Ann	1	102	Marlin Court		Orchard Hill
Bilger	Christine M	1	3	Hickory Branch Lane		Hearthstone Manor
Bilger	Frank	1	3	Hickory Branch Lane		Hearthstone Manor
Bilger	Glenn Richard	1	33	Little Birch Drive		Hearthstone Manor
Bilger	Joan Linda	1	33	Little Birch Drive		Hearthstone Manor
Billings	Audrey J.	1	133	Hickory Branch Court		Hearthstone Manor
Billings	Clarence	1	133	Hickory Branch Court		Hearthstone Manor
Black	Helene M.	3	218	N Walnut Street		
Blackson	W. Scott	1	412	Marshall Street		
Blackston	Eloise C.	4	704	Truitt Avenue		
Blackston	Samuel A.	4	704	Truitt Avenue		
Blakely	Kenneth G.	2	102	Causey Avenue		
Blakely	Sheila G.	2	404	Lakeview Avenue		
Bleadow	Cheryl Y.	2	901	S DuPont Boulevard		
Bleadow	Kenneth A.	2	901	S DuPont Boulevard		
Bleshman	Rachel	3	119	N Walnut Street		
Blessing	Joel F.	2	608	New Street		
Boddy	Mitzi H.	2	9	Elizabeth Street		
Boddy	William L.	2	9	Elizabeth Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Bodie	Louis A.	4	120	N Landing Drive		Knotts Landing
Boegli	Kurt Bernhard	3	19639	Drummond Drive		Fork Landing
Boegli	Rose Angela	3	19639	Drummond Drive		Fork Landing
Boehm	Richard D.	4	1036	N Walnut Street		Travelers Inn Motel
Bond	Daniel L.	4	101	NW Front Street		
Bond	Rhonda Sue	4	101	NW Front Street		
Bonner	Joanne E.	1	18	Kingston Terrace		Hearthstone Manor
Bonner	John E.	1	18	Kingston Terrace		Hearthstone Manor
Bontrager-Thomas	Sherrie M.	2	314	NW Front Street		
Boone	Carroll L.	3	326	SE Second Street		
Boone	Karen F.	4	303	Parson Thorne Apartments		
Boone	Kayla Janay	4	303	Parson Thorne Apartments		
Booz	Sally T.	4	312	Silver Lake Estates		
Born	Cynthia	1	314	Matthew Circle		Matlinds Estates
Born	Thomas	1	314	Matthew Circle		Matlinds Estates
Born	Thomas Robert	1	314	Matthew Circle		Matlinds Estates
Botkin	Joan	1	4701C	Summer Brook Way		Hearthstone Manor
Boutin	Amy Clare	2	308	S Walnut Street		
Boutin	Edward H.	2	308	S Walnut Street		
Boutin	Theresa M.	2	308	S Walnut Street		
Boutin	Virginia L.	2	308	S Walnut Street		
Bowe	Ethel T.	4	216	North Street		Academy Apartments
Bowen	Gary Allen	4	235	S Landing Drive		Knotts Landing
Bowen	Helene Phyllis	4	235	S Landing Drive		Knotts Landing
Bowers	Donna C.	2	435	S Walnut Street		
Bowers	Kevin R.	2	435	S Walnut Street		
Bowers	Marian Claire	4	127	N Landing Drive		Knotts Landing
Bowers	Norman J.	4	127	N Landing Drive		Knotts Landing
Bowman	Joan M.	2	611	Marvel Road		Lakelawn Estates
Boyle	Geraldine K.	1	43	Meadow Lark Drive		Meadows at Shawnee
Boyle	Michael Joseph	1	43	Meadow Lark Drive		Meadows at Shawnee
Bradley	Carrie Beth	3	507	N Washington Street		
Bradley	Jimmy R. Jr.	3	705	SE Front Street		
Bradley	Michael John	3	507	N Washington Street		
Brady	Ellen M.	3	111	Brady Drive		
Brady	Norman Jr.	3	111	Brady Drive		
Brady	Tracey Nadine	3	111	Brady Drive		
Brannan	Nicholas R.	1	8	Little Pond Drive		Meadows at Shawnee
Brannan	Tristin Oinelle	1	8	Little Pond Drive		Meadows at Shawnee
Bray	D. Aileen	1	305	Columbia Street		
Breedlove	Larry A.	2	420	Kings Highway		
Breedlove	Linda	2	420	Kings Highway		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Breen	Carol Marie	4	119	Starland Way		Knotts Landing
Breen	David Charles	4	119	Starland Way		Knotts Landing
Brennan	Carole Irene	1	1	Hickory Branch Lane		Hearthstone Manor
Brennan	Dennis J.	3	5613	Camberly Drive		Fork Landing
Brennan	Gregory T.	1	1	Hickory Branch Lane		Hearthstone Manor
Brennan	Rosemarie	3	5613	Camberly Drive		Fork Landing
Brenneman	Patricia	2	507	Crestview Drive		Lakelawn Estates
Brenneman	Wayne M.	2	507	Crestview Drive		Lakelawn Estates
Brereton	William S.	4	103	Silver Hill Apartments		
Brickley	Robert J.	1	4	Fairway Court		Orchard Hill
Briggs	Mary	2	1019	S DuPont Boulevard		
Brijmohan	Balram	2	208	Montgomery Street		
Brijmohan	Bijai Latchmin	2	208	Montgomery Street		
Brink	Mary Ellen	1	11	Homestead Boulevard		Hearthstone Manor
Brittingham	Carol Lee	1	317	Fisher Avenue		
Brittingham	Michael Anthony	1	317	Fisher Avenue		
Brittingham	Staci Renee	1	317	Fisher Avenue		
Brittingham	Thomas R.	1	313	Matthew Circle		Matlinds Estates
Brockett	Ronald E.	3	201	North Street		
Brooks	Devon J.	1	218	Beaufort Lane		Orchard Hill
Brooks	Dion S.	3	707	N Washington Street		
Brooks	Owen S. Jr.	3	301	NE Tenth Street		
Brooks	Rose Anne	3	301	NE Tenth Street		
Broulik	Jan Keren-Happuch	2	2	Causey Avenue		
Brown	Barbara C.	3	408	Pierce Street		
Brown	Beverly Anne	1	127	Hickory Branch Court		Hearthstone Manor
Brown	Carole Ann	1	706	Lindsay Lane		Matlinds Estates
Brown	Carrie P.	3	413	NE Front Street		
Brown	Daniel Michael	1	706	Lindsay Lane		Matlinds Estates
Brown	Dorothy	2	7456	Pinwheel Dr		Milford Ponds
Brown	Helen L.	3	102	Lovers Lane		
Brown	Howard Lee	4	408	North Street		
Brown	Jane R.	4	26	NW Tenth Street		
Brown	Kevin	1	509	Marshall Street	C	
Brown	Louella Ann	2	18613	Eleanor Lane		Walnut Village
Brown	Mary	3	700	N Washington Street		
Brown	Merlyn Edward	4	702	North Street Ext		
Brown	Newton W.	3	700	N Washington Street		
Brown	Richard T.	1	4	E Bullrush Drive		Meadows at Shawnee
Brown	Sandra June	1	4501C	Summer Brook Way		Hearthstone Manor
Brown	Sharon R.	1	4	E Bullrush Drive		Meadows at Shawnee
Brown	William John	2	18613	Eleanor Lane		Walnut Village

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Bruce	Frank George	1	11	Fairway Street		Orchard Hill
Bruce	Marta	1	11	Fairway Street		Orchard Hill
Bryant	Victoria Denise	4	602	Silver Hill Apartments		
Buckley	Malcom Neal	3	19608	Drummond Drive		Fork Landing
Buckley	Regina Ann	3	19608	Drummond Drive		Fork Landing
Buczek	Carl F.	3	19603	Drummond Drive		Fork Landing
Buczek	Linda L.	3	19603	Drummond Drive		Fork Landing
Bulkilvish	Samantha Jean	4	126	NW Second Street		
Bullock	Beverly G.	2	6	Delaware Avenue		
Bullock	Kimberly Ann	2	7	Delaware Avenue		
Bullock	William E. Jr.	2	6	Delaware Avenue		
Bumbrey	Daphne C.	2	18508	Thelma Lane		Walnut Village
Bunselmeyer	Frances B.	2	109	School Place		
Bunselmeyer	Louis Richard	2	109	School Place		
Burk	Albert J.	2	423	Kings Highway		
Burk	Amanda S.	2	423	Kings Highway		
Burk	Blanche A.	4	5	Linstone Lane	101	Silver Lake Apartments
Burk	James Frederick	2	129	School Place		
Burke	Dorothy J.	1	40	Meadow Lark Drive		Meadows at Shawnee
Burke	Neil A.	1	40	Meadow Lark Drive		Meadows at Shawnee
Burkett	Nancy J.	2	1035	S DuPont Boulevard		
Burlingame	Robert Matthew	1	318	Matthew Circle		Matlinds Estates
Burns	Brenda M.	2	414	Kings Highway		
Burrington	Cory L.	3	503	SE Front Street		
Burris	Janice H.	2	602	Reed Road		Lakelawn Estates
Burris	Michael W.	2	420	Kings Highway		
Burrows	Kimberly Elizabeth	1	500	Gilcrest Street		
Burrows	Samuel C. III	1	500	Gilcrest Street		
Burton	Ann	2	208	Grier Lane		
Burton	Carla J.	1	3402H	N Sagamore Drive		Hearthstone Manor
Burton	David G.	2	208	Grier Lane		
Butcavage	Lorraine D.	1	9	Little Pond Drive		Meadows at Shawnee
Butcavage	Nicholas J.	1	9	Little Pond Drive		Meadows at Shawnee
Buttofoco	Rocco	4	112	Starland Way		Knotts Landing
Butz-Miller	Melissa K.	2	503	Crestview Drive		Lakelawn Estates
Byer	William B.	1	8	Homestead Boulevard		Hearthstone Manor
Byerly	Richard M.	3	805	SE Second Street		
Cahall	Arthur B. III	2	446	Kings Highway		
Cahall	Lori Leigh	3	808	SE Front Street		
Caiola	Debra M.	2	107	S Church Street		
Caiola	Robert M.	2	107	S Church Street		
Calhoun	Robin L.	3	205	North Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Callahan	Billy B.	2	439	Kings Highway		
Callaway	Dorothy J.	4	203	Parson Thorne Apartments		
Callaway	Kenneth Price	2	202	Grier Lane		
Callaway	Robert E.	3	520	Cedar Beach Road		
Callaway	Ruth L Melott	1	3502F	N Sagamore Drive		Hearthstone Manor
Callaway	Shirley Deats	2	202	Grier Lane		
Callaway	Thomas E.	4	203	Parson Thorne Apartments		
Calvert	Carol T.	1	702	SE Fifth Street		
Calvert	James Bishop	1	702	SE Fifth Street		
Campagani	Anthony R.	1	805	SE Fifth Street		
Campagani	Lori Jean	1	805	SE Fifth Street		
Campana	Betsy Ann Raymond	2	506	Kings Highway		
Campbell	Arthur James	1	6	Little Pond Drive		Meadows at Shawnee
Campbell	Charles A.	1	113	Hickory Branch Court		Hearthstone Manor
Campbell	David C.	3	15	NW Second Street		
Campbell	Deborah H.	1	103	Hickory Branch Court		Hearthstone Manor
Campbell	Veronica	1	6	Little Pond Drive		Meadows at Shawnee
Campos	Maria Hortensia	1	102	Marlin Court		Orchard Hill
Cannon	James Edward Jr.	3	23	NW Second Street		
Cannon	Justin R.	2	806	S Walnut Street		
Cannon	Stephen Gregory	2	806	S Walnut Street		
Canti	Juan J.	2	104	SE Second Street		
Cantwell	Lisa Dawn	2	14	Pennsylvania Avenue		
Cantwell	Timothy D.	2	14	Pennsylvania Avenue		
Caputo	Joanne L	1	9	Windy Drive		Meadows at Shawnee
Cardell	Margery A.	1	3301A	S Sagamore Drive		Hearthstone Manor
Carmean	Jacqueline W.	1	102	McCoy Street		
Carmean	Richard Dennis	1	102	McCoy Street		
Carpenter	Louis H. Jr.	3	9	General Torbert Drive		Sawmill Village
Carpenter	Peter J.	1	19	E Bullrush Drive		Meadows at Shawnee
Carr	Ann T.	1	1	Little Birch Drive		Hearthstone Manor
Carr	Brenda K.	3	700	SE Second Street		
Carr	Leonard G. Sr.	1	1	Little Birch Drive		Hearthstone Manor
Carr	Rachel Helen	2	308	S Washington Street		
Carr	Raymond Richard	2	308	S Washington Street		
Carroll	Violetta	4	443	North Street		
Carter	JoAnn	2	13	Delaware Avenue		
Carter	Judy K.	3	303	Pierce Street		
Carter	Kim C.	2	13	Delaware Avenue		
Carter	William R.	2	511	Seabury Avenue		
Cartwright	Andre Jevon	4	21	Linstone Lane	1	
Cartwright	Rita C.	4	711	Truitt Avenue Ext		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Cartwright	Sydney A.	4	711	Truitt Avenue Ext		
Cartwright	Theron E.	4	711	Truitt Avenue Ext		
Cassase	Robert J.	2	405	Mispiration Apartments		
Cassedy	Gary R.	3	705	N Walnut Street		
Cavanaugh	Linda E.	1	7	E Green Lane		Orchard Hill
Cavanaugh	Michael M.	1	7	E Green Lane		Orchard Hill
Cephas	Sharon Y.	4	4	Lucia Circle		
Cephas-Morris	Felicia E.	4	606	North Street Ext		
Chamberlain	Kevin Brian	1	4701D	Summer Brook Way		Hearthstone Manor
Chamberlin	Sharon S.	2	8	W Clarke Avenue		
Chapman	Diane	4	5	Linstone Lane	319	Silver Lake Apartments
Chapman	Domeka W.	4	602	Truitt Avenue Ext		
Chapman	James J. Jr.	4	443	North Street		
Chasanov	William M.	2	300	S Walnut Street		
Chen	Byron G.	2	709	N Shore Drive		North Shores
Chen	Kitty R.	2	709	N Shore Drive		North Shores
Chilton	Henrietta I.	1	38	Meadow Lark Drive		Meadows at Shawnee
Chilton	Thomas J.	1	38	Meadow Lark Drive		Meadows at Shawnee
Chodkowski	Jean C.	2	314	Lakelawn Drive		Lakelawn Estates
Christensen	Kathryn Elaine	2	6	S Maple Avenue		
Christensen	Robert Mark	2	6	S Maple Avenue		
Churilla	David John	4	166	Church Hill Road		
Cilano	Charles	1	103	Barksdale Court		Hearthstone Manor
Cilano	Kristine Schuster	1	103	Barksdale Court		Hearthstone Manor
Cimo	Mary E.	3	410	East Street		
Cinelli-Miller	Jennifer	2	715	New Street		
Cioni	Albert	1	34	Meadow Lark Drive		Meadows at Shawnee
Clark	Karen A.	1	8	Delores Court		Orchard Hill
Clark	Mary Edna	4	612	North Street Ext		
Clark	Michael Andrew	1	34	Clearview Drive		Hearthstone Manor
Clarke	Barbara A.	1	1	E Bullrush Drive		Meadows at Shawnee
Clarke	Brian G.	1	147	Rock Ledge Court		Hearthstone Manor
Clarke	Charles Wilson	1	1	E Bullrush Drive		Meadows at Shawnee
Clarke	Katina Letrice	1	147	Rock Ledge Court		Hearthstone Manor
Clark-Thompson	Sara Martha	1	34	Clearview Drive		Hearthstone Manor
Clauges	Frank T. Jr	3	815	SE Second Street		
Clauges	Sylvia M	3	815	SE Second Street		
Clayville	John Mark	2	628	NW Front Street		
Clendaniel	Anna	2	700	Marvel Road		Genesis Health Care
Clendaniel	Cheryl Lynn	2	22	Nelson Street		
Clendaniel	Deborah W.	2	302	S Walnut Street		
Clendaniel	Frank Brooke	2	302	S Walnut Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Clendaniel	Gloria	1	516	Marshall Street		
Clendaniel	Henry L. Jr.	3	919	SE Second Street		
Clendaniel	Juanita M	3	711	N Washington Street		
Clendaniel	Lawrence E.	2	300	Hall Place		
Clifton	Patrick D.	2	414	S Washington Street		
Cline	Drew Douglas	2	10	W Clarke Avenue		
Cline	Melody Ayn	2	10	W Clarke Avenue		
Clough	Louis Curtis	1	802	Joshua Drive		Matlinds Estates
Clukey	Jessica Leigh	2	605	S Walnut Street		
Coherd	Jeanne Marie	2	211	Lakelawn Drive		Lakelawn Estates
Cole	Trudy G.	1	618	Cedarwood Avenue		Marshall Commons
Coleman	Carol Susan	4	234	S Landing Drive		Knotts Landing
Colletti	Johanna C.	1	13	Homestead Boulevard		Hearthstone Manor
Collins	Christoher Robert	3	63	General Torbert Drive		Sawmill Village
Collins	Cynthia H.	3	66	Cedar Beach Road		
Collins	Joseph E.	1	22	W Bullrush Drive		Meadows at Shawnee
Collins	Katherine	4	5	Linstone Lane		Silver Lake Apartments
Collins	Kenneth W.	3	66	Cedar Beach Road		
Collins	Mary Catherine	1	22	W Bullrush Drive		Meadows at Shawnee
Comstock	Helen Mae	2	604	Marvel Road		Lakelawn Estates
Comstock	Janice L.	2	442	Kings Highway		
Comstock	Richard D.	2	604	Marvel Road		Lakelawn Estates
Comstock	Richard D. Jr.	2	442	Kings Highway		
Condiff	Violet M.	4	107	West Street		
Connelly	Norma P.	2	1203	Mispillion Apartments		
Connelly	Rosemary	1	107	Barksdale Court		Hearthstone Manor
Cornwell	Janelle Marie	1	612	McColley Street		
Cornwell	Leika Lewis	3	350	Shore Lane		Lighthouse Estates
Cornwell	Terrell Wayne Jr.	3	350	Shore Lane		Lighthouse Estates
Cortright	Laura M.	2	500	Caulk Road		Lakelawn Estates
Cortright	Paul Hanford	2	500	Caulk Road		Lakelawn Estates
Corwin	Joe-Anne H.	1	704	Cedarwood Court		Marshall Commons
Corwin	Kevin Robert	1	704	Cedarwood Court		Marshall Commons
Cotton	Thomas G.	1	16	E Bullrush Drive		Meadows at Shawnee
Coulbourne	Gary L.	2	512	Crestview Drive		Lakelawn Estates
Coulet	Dominique R.	3	15	Marshall Street		
Coulson	James Thomas	2	712	New Street		
Coverdale	Charles A.	2	7	Donovan Street		
Coverdale	Clifford Keith	3	515	N Washington Street		
Coverdale	Clifford Wilson	2	111 1/2	School Place		
Coverdale	Cynthia R.	4	1022	N Walnut Street		
Coverdale	Donna Lee	3	515	N Washington Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Coverdale	Earl A.	3	203	Bridgeham Avenue		
Coverdale	Eric William	1	3301C	N Sagamore Drive		Hearthstone Manor
Coverdale	Jeffrey C.	3	42	Fisher Avenue		
Coverdale	Marcia A.	2	7	Donovan Street		
Coverdale	Noela M.	3	203	Bridgeham Avenue		
Coverdale	Tara J.	2	111 1/2	School Place		
Covington	David	2	431	S Walnut Street		
Cox	James Abram	2	18543	Eleanor Lane		Walnut Village
Cox	Marguerite Josephine	1	13	Windy Drive		Meadows at Shawnee
Cox	Patricia A.	2	18543	Eleanor Lane		Walnut Village
Crabb	Patricia H.	2	430	Kings Highway		
Crawford	Dolly M.	4	503	Ashley Way		Milford Crossing
Crawford	Robin L.	1	303	Lovers Lane		
Cripps	Gary D.	1	26	Fairway Street		Orchard Hill
Cromer	Darrell R.	3	507	N Walnut Street		
Cromer	Debra S.	3	507	N Walnut Street		
Crossley	Loretta	1	26	Kingston Terrace		Hearthstone Manor
Croteau	Camille	1	134	W Green Lane		Orchard Hill
Croteau	Wilfred J. III	1	134	W Green Lane		Orchard Hill
Crouch	Clifford T.	2	510	Crestview Drive		Lakelawn Estates
Crouch	Vaughn P.	2	510	Crestview Drive		Lakelawn Estates
Culotta	Charles R.	2	6	E Clarke Avenue		
Culotta	Francis Todd	2	211	S Walnut Street		
Culotta	Kalle Anne	2	211	S Walnut Street		
Culp	Anna M.	2	5	Delaware Avenue		
Curiel	Christine	1	315	McColley Street		
Curran	Pamela Mary	3	207	Marshall Street		
Currie	Jack Daniel	3	200	NE Fourth Street		
Currie	Jack Daniel	4	5	NW Fourth Street		
Daino	Alice	1	24	Fairway Street		Orchard Hill
Daino	Edward	1	24	Fairway Street		Orchard Hill
Daisey	Ronald	2	510	Lakeview Avenue		
Dakin	Janet Lillian	1	6	Clearview Drive		Hearthstone Manor
Dale	Donna M.	3	1006	SE Second Street		
Dalik	David W.	1	138	Rock Ledge Court		Hearthstone Manor
Dalik	Geraldine	1	138	Rock Ledge Court		Hearthstone Manor
Daly	Joanne M.	1	4	Little Pond Drive		Meadows at Shawnee
Daly	Patrick Pearse	1	4	Little Pond Drive		Meadows at Shawnee
Daly	Robert E.	1	4	Little Pond Drive		Meadows at Shawnee
Daniels	Cynthia L.	4	100	Moyer Circle	A	
Daniels	Wauneti J.	4	102	Parson Thorne Apartments		
Daniels, Jr.	Samuel Thornton	2	800	S Walnut Street		

City of Milford
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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Darlin	Jennifer E.	4	304	Parson Thorne Apartments		
David	Kathleen A.	2	204	S Walnut Street		
David	Lauren E.	2	7	Nelson Street		
David	Luis L.	2	204	S Walnut Street		
Davis	Adam Ryan	2	714	New Street		
Davis	Betty Lou	1	4303I	Fullerton Court		Hearthstone Manor
Davis	Betty Lou	2	11	SE Second Street		
Davis	Carol Joann	2	723	Seabury Avenue		
Davis	Claretta	3	804	N Washington Street		
Davis	Debra A.	3	911	Berry Lane		
Davis	Donna J.	1	701	Lindsay Lane		Matlinds Estates
Davis	Gordon P.	3	601	N Walnut Street		
Davis	Helen E.	4	1020	N Walnut Street		
Davis	Jehu M. Jr.	1	113	Barksdale Court		Hearthstone Manor
Davis	Jerry K.	2	216	NW Front Street		
Davis	Jo Ann W.	2	5	W Clarke Avenue		
Davis	Jonathan Tyler	1	701	Lindsay Lane		Matlinds Estates
Davis	Kathryn W.	3	9	NE Sixth Street		
Davis	Kenneth C.	1	701	Lindsay Lane		Matlinds Estates
Davis	Marie R.	1	113	Barksdale Court		Hearthstone Manor
Davis	Marjorie J.	1	7	Windy Drive		Meadows at Shawnee
Davis	Mark Charles	2	5	W Clarke Avenue		
Davis	Patricia Ann	1	1	Misty Vale Court		Meadows at Shawnee
Davis	Raleigh Jr.	3	911	Berry Lane		
Davis	Redmond	1	1	Misty Vale Court		Meadows at Shawnee
Davis	Richard James	2	723	Seabury Avenue		
Davis	Robert J.	1	7	Windy Drive		Meadows at Shawnee
Davis	Sadie M.	4	207	NW Third Street		
Davis	Sherry Lee	4	443	North Street		
Davis	Susan L.	2	216	NW Front Street		
Davis	Sylvester	4	104	N Church Street		
Davis	Victoria L.	1	305	Fisher Avenue		
Davis	William H.	1	4303I	Fullerton Court		Hearthstone Manor
Davis	William H.	2	11	SE Second Street		
Davis-Western	Latricia E	4	104	N Church Street		
Dawson	Earl Jesse Jr	1	15	E Bullrush Drive		Meadows at Shawnee
Dawson	Janet Elaine	1	1	Lenape Lane		Meadows at Shawnee
Dawson	Maria A.	1	15	E Bullrush Drive		Meadows at Shawnee
Day	George E.	2	412	S Walnut Street		
De Vastey	Yvonne Vance	1	161	Aspen Court		Hearthstone Manor
Deeney	Joshua Steven	3	324	SE Second Street		
DeGrace	John A.	4	207	S Landing Drive		Knotts Landing

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
DeGrace	Joyce J.	4	207	S Landing Drive		Knotts Landing
Dellinger	Bradley Jay	3	605	SE Third Street		
Dellinger	Lynn Elaine	3	605	SE Third Street		
Delorme	Dorothy	1	143	Barksdale Court		Hearthstone Manor
Delrossi	Jeannine	1	4	Windy Drive		Meadows at Shawnee
Delrossi	Kent C.	1	4	Windy Drive		Meadows at Shawnee
DeMartin	Peggy J.	3	39	N Walnut Street		
Dennehy	Bradley A.J.	2	505	New Street		
Dennehy	Kristin Yvette	2	305	Hall Place		
Denneny	Colleen M.	3	42	Fisher Avenue		
Densten	Marilyn A.	1	7	E Bullrush Drive		Meadows at Shawnee
Densten	Paul L.	1	7	E Bullrush Drive		Meadows at Shawnee
Deputy	Margarett A.	4	614	Parson Thorne Apartments		
Derrickson	Susan L.	2	2	Sunset Lane		
DeRue	Barbara E.	1	17	E Bullrush Drive		Meadows at Shawnee
DeRue	John III	1	17	E Bullrush Drive		Meadows at Shawnee
Deshaies	Jeanne M	2	500	S DuPont Boulevard		The Heritage
Devan	Constance Marie	1	13	Kingston Terrace		Hearthstone Manor
Devaughn	Carrie Leona	1	137	Rock Ledge Court		Hearthstone Manor
Devita	Judith Elaine	2	304	Regent Road		Lakelawn Estates
Devita	Louis J.	2	304	Regent Road		Lakelawn Estates
Dickerson	Derrick J.	2	7	Delaware Avenue		
Dickerson	Doris L.	4	502	N Church Street		
Dickerson	Frances M.	3	901	SE Third Street		
Dickerson	Jack N.	3	609	N Walnut Street		
Dickerson	Nancy K.	3	609	N Walnut Street		
Dickerson	Sharon A.	3	48	General Torbert Drive		Sawmill Village
DiCostanzo	Kevin L.	1	310	Matthew Circle		Matlinds Estates
Dicostanzo	Shelby L.	1	310	Matthew Circle		
Digialleonardo	Virginia Carole	1	4402G	Summer Brook Way		Hearthstone Manor
Dill	Carolyn E.	3	212	N Walnut Street	A	
Dillon	April Marie	1	22	Fairway Street		Orchard Hill
Diogo	Teresa Toni	3	222	NE Second Street		
Diorato	Michael Peter	4	240	S Landing Drive		Knotts Landing
Diskau	Helene A.	2	431	Kings Highway		
Diskau	John R.	2	431	Kings Highway		
DiStefano	David E.	2	7327	Clubhouse Drive		Milford Ponds
Dohring	Nancy W.	4	5	Linstone Lane	3	Silver Lake Apartments
Donnellan	Hubert J.	4	103	Starland Way		Knotts Landing
Donnelly	James M.	3	802	SE Front Street		
Donnelly	Patricia A.	3	802	SE Front Street		
Donovan	Brian Joseph	2	503	S Walnut Street		

City of Milford
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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Donovan	George R.	3	913	SE Third Street		
Donovan	Jay R.	3	1020	SE Second Street		
Donovan	Meta Mae	3	711	N Washington Street		
Donovan	Phyllis A.	1	102	Rock Ledge Court		Hearthstone Manor
Doran	Andrew Daniel	2	409	S Walnut Street		
Doran	Anne L.	4	133	N Landing Drive		Knotts Landing
Doran	Beverly W.	2	409	S Walnut Street		
Doran	Charles L.	4	133	N Landing Drive		Knotts Landing
Doran	Katie Brown	2	409	S Walnut Street		
Doran-Beutler	Elizabeth R.	2	409	S Walnut Street		
Dorler	Nancy-Ellen Marie	1	601	Maple Street		Marshall Commons
Dottoli	Donna Jo	2	1401	Mispillion Apartments		
Downes	Betty	3	306	S Rehoboth Boulevard		
Downes	Gary Wayne	2	510	Kings Highway		
Downes	Lena Mae	1	303	Richard Street		
Downes	Victoria A.	2	510	Kings Highway		
Doyle	Catherine C.	4	111	NW Third Street	A	
Draper	Anne L.	4	503	Parson Thorne Apartments		
Duffy	Delema M.	4	509	West Street		
Duffy	Frederick A.	4	509	West Street		
Dula	Andrea M.	1	115	W Green Lane		Orchard Hill
Duncan	Carol A.	3	509	N Walnut Street		
Duncan	Lorraine E.	1	408	Marshall Street		
Duncan	Nicole Mae	3	214	Charles Street		
Duncan	Philip L.	3	214	Charles Street		
Duncan	Richard R.	3	509	N Walnut Street		
Dunlap	Dwayne David	1	4	Costabella Lane		Orchard Hill
Dunlap	Susan Claire	1	4	Costabella Lane		Orchard Hill
Duphily	Francis Jane	2	15	Nelson Street		
Duvalier	Louis	4	107	N Church Street		
Eastburn	Anna L.	2	405	Lakelawn Drive		Lakelawn Estates
Eaton	John Robert	1	4403K	Summer Brook Way		Hearthstone Manor
Eck	Dennis Thomas	1	3103L	W Brookmeyer Drive		Hearthstone Manor
Eck	Shirley Louise	1	3103L	W Brookmeyer Drive		Hearthstone Manor
Edmondson	Guy Mitchell	2	208	Lakeview Avenue		
Edmondson	Loretta I.	2	208	Lakeview Avenue		
Edwards	Doris J.	1	312	Marshall Street		
Egan	Melinda Larimore	1	602	McColley Street		
Egan	Trevor J	1	602	McColley Street		
Ehrmann	Ann Sonetto	2	817	Seabury Avenue		
Ehrmann	George H.	2	817	Seabury Avenue		
Ehrmann	George H. Sr.	2	817	Seabury Avenue		

City of Milford
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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Eickman	Kevin James	2	721	New Street		
Eisenbrey	Joan Louise	2	16	Delaware Avenue		
Eisenbrey	John C.	3	801	SE Front Street		
Eisenbrey	John C. III	2	16	Delaware Avenue		
Eisenbrey	Michelle L.	3	801	SE Front Street		
Eisenbrey	Thomas Ryan	3	801	SE Front Street		
Eitelbach	Elaine M.	1	303	Columbia Street		
Elliott	Dodson Edward	2	203	Lakelawn Drive		Lakelawn Estates
Elliott	Granville A.	3	604	SE Front Street		
Elliott	Ronald N.	1	310	McColley Street		
Ellison	Abraham L.	2	604	Marvel Road		Lakelawn Estates
Ellison	Betty	2	604	Marvel Road		Lakelawn Estates
Ellison	James J	1	163	Rock Ledge Court		Hearthstone Manor
Elton	Richard Alan	1	111	W Green Lane		Orchard Hill
Elton	Suzanne L.	1	111	W Green Lane		Orchard Hill
Emory	Alice M.	2	500	S DuPont Boulevard		The Heritage
Emory	Donald M.	2	4	Pennsylvania Avenue		
Emory	Hunter Jacob	2	110	Old Shawnee Road		
Emory	Janna Kay	1	7403	Cedar Creek Road		
Emory	Judy L.	1	7403	Cedar Creek Road		
Emory	Patrick Jason	1	7403	Cedar Creek Road		
Ennis-Jopp	Joyce E.	1	23	Kingston Terrace		Hearthstone Manor
Erickson	Alice Marie	3	412	N Washington Street		
Erickson	David Paul	1	700	SE Fourth Street		
Erickson	Vivian L.	1	700	SE Fourth Street		
Ermer	Marguerite Mary	1	3302H	N Sagamore Drive		Hearthstone Manor
Ermer	William Douglas	1	3302H	N Sagamore Drive		Hearthstone Manor
Ernsberger	Donna Kay	1	109	Marlin Court		Orchard Hill
Ernsberger	James Clifford	1	109	Marlin Court		Orchard Hill
Escalante	Rosa Luz	1	509	Marshall Street	B	
Eustis	John Vincent Jr	3	713	N Walnut Street		
Eustis	Lezlie S.	3	713	N Walnut Street		
Evans	Betty A.	4	121	NW Front Street	B	
Evans	Edward B.	3	705	N Walnut Street		
Evans	Laconda Sue	1	16	Clearview Drive		Hearthstone Manor
Evans	Martha Lee	2	313	Hall Place		
Evans	Otto Albert	1	317	Marshall Street		
Evans	Ronald T.	1	315	Fisher Avenue		
Evans	Rosellen G.	2	121	School Place		
Evans	Veronica K.	3	705	N Walnut Street		
Evans-Keesler	Rebecca A.	1	315	Fisher Avenue		
Evers	Eric Wayne	1	16	Big Pond Drive		Meadows at Shawnee

City of Milford
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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Evers	Paige Geraldine	1	16	Big Pond Drive		Meadows at Shawnee
Ewadinger	Maureen E.	1	5	Little Pond Drive		Meadows at Shawnee
Fader	Doris	2	30	McCoy Street		
Fair	Susan E.	4	113	Bright Way		Brightway Commons
Fantozzi	Anthony J.	4	107	Alexa Court		Knotts Landing
Fantozzi	Christine A.	4	107	Alexa Court		Knotts Landing
Farrell	Colleen Ann	4	11	Rogers Drive		
Farrell	Dorothy A.	1	16	W Bullrush Drive		Meadows at Shawnee
Farrell	Robert J Jr.	1	16	W Bullrush Drive		Meadows at Shawnee
Farrell	Robert John	1	16	W Bullrush Drive		Meadows at Shawnee
Farrell	Thomas Francis	4	11	Rogers Drive		
Faulkner	Sharon S.	3	406	SE Front Street	A	
Fearn	Ann Elizabeth	1	7	Royal Drive		Orchard Hill
Fearn	Kenneth Brian	1	7	Royal Drive		Orchard Hill
Feehan	John S.	1	103	Beaufort Lane		Orchard Hill
Feehan	Marion C.	1	103	Beaufort Lane		Orchard Hill
Feindt	Jennifer Lynn	3	302	Carlisle Lane		
Feindt	Sharon A.	2	4	Lakelawn Drive		Lakelawn Estates
Feindt	Walter G.	2	4	Lakelawn Drive		Lakelawn Estates
Felder	Brian C.	2	105	Lakelawn Drive		Lakelawn Estates
Felder	Marianne L.	2	105	Lakelawn Drive		Lakelawn Estates
Fenton	Susan Catherine	1	6	E Green Lane		Orchard Hill
Ferracci	Evelyn R.	1	3401A	S Sagamore Drive		Hearthstone Manor
Ferrell	Janet Williams	3	19592	Drummond Drive		Fork Landing
Ferrell	John E	3	19592	Drummond Drive		Fork Landing
Fildes	Robert R	2	215	S Walnut Street	A	
Finocchiaro	June Ellen	2	213	S Walnut Street		
Fioca	Starr J	4	818	Warner Road		
Fischer	Joanne T.	2	12	Lakelawn Drive		Lakelawn Estates
Fisher	Carlton	2	202	Cherry Street		
Fisher	Donald	2	502	Crestview Drive		Lakelawn Estates
Fisher	Lenore Jean	1	300	Matthew Circle		Matlinds Estates
Fisher	Patricia M.	2	502	Crestview Drive		Lakelawn Estates
Fister	Holly K.	3	509	Carlisle Lane		
Fitz	Norman Alonzo	1	161	Aspen Court		Hearthstone Manor
Fitzcharles	Carl D.	1	3	Little Birch Drive		Hearthstone Manor
Fitzgerald	Lisa M.	2	414	Evergreen Circle		
Fitzgerald	Mary L.	2	1031	S Walnut Street		
Flanary	Sandra Schwartz	1	6177	Kirby Road		Meadows at Shawnee
Flanary	Willard Oland	1	6177	Kirby Road		Meadows at Shawnee
Fleishman	Michael C	1	9	Windy Drive		Meadows at Shawnee
Fogel	Stuart Marshall	1	10	W Thrush Drive		Meadows at Shawnee

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Fondren	Carl J.	4	140	N Landing Drive		Knotts Landing
Forbes	Gordon S.	1	2	Fairway Court		Orchard Hill
Forbes	Margaret A.	1	2	Fairway Court		Orchard Hill
Fort	Delores L.	4	518	Truitt Avenue		
Foster	JoAnn	2	38	N Walnut Street		
Fountain	Franklin A.	4	516	N Church Street		
Fountain	Gwendolyn M.	4	608	Truitt Avenue Ext		
Fountain	Janice L.	4	604	Truitt Avenue Ext		
Fowler	Alisa Charlene	3	82	Shore Lane		Lighthouse Estates
Fowler	Charlene Patricia	3	329	S Rehoboth Boulevard		
Fowler	Fayette Leroy	3	364	Shore Lane		Lighthouse Estates
Fox	Charlotte D.	3	802	SE Second Street		
Fox	Connie	2	809	New Street		
Fox	Phyllis M.	1	200	E Clarke Avenue		
Fox	William J.	1	200	E Clarke Avenue		
France	Richard W.	1	612	Beechwood Avenue		Marshall Commons
Francis	Kay O.	2	118	NW Front Street		
Franklin	Teresa E.	4	5	Lucia Circle		
Franklin	Teresa M.	4	604	N Church Street		
Frazer-Giles	Angelyn Celestine	3	5608	Camberly Drive		Fork Landing
Frazier	Allen R	3	513	N Walnut Street		
Frederick	John Martin	2	405	S Walnut Street		
Frederick	Suzannah Martin	2	405	S Walnut Street		
Freeberger	Minge A.	3	19591	Drummond Drive		Fork Landing
Freebery	Mark	1	2	E Bullrush Drive		Meadows at Shawnee
Freebery	Nancy Bennett	1	2	E Bullrush Drive		Meadows at Shawnee
French	Alvin W.	2	512	Kings Highway		
French	Beverly A.	3	0	N Washington Street		
French	Cynthia W.	2	512	Kings Highway		
French	M. Russell	3	0	N Washington Street		
Frey	Sonja M.	3	208	Lovers Lane		
Frith	Viola H.	4	111	NW Third Street	B	
Frost	Thaddeus W.	2	108	Lakelawn Drive		Lakelawn Estates
Fry	Holly M.	2	501	S Walnut Street		
Fry	Kerri Burton	2	501	S Walnut Street		
Fullman	Dorothy	3	19	Columbia Street		
Fullman	Sadie	3	21	Columbia Street		
Fullman	Yvonne Denise	4	427	North Street		
Fulton	Amanda Marie	2	15	E Clarke Avenue		
Fulton	Andrew Paul	2	15	E Clarke Avenue		
Fulton	Molly Marie	2	15	E Clarke Avenue		
Fulton, Jr.	Andrew Paul	2	15	E Clarke Avenue		

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Furlong	Edward	1	10	W Bullrush Drive		Meadows at Shawnee
Furlong	Lois M.	1	10	W Bullrush Drive		Meadows at Shawnee
Furnish	Dorothy P.	2	508	Kings Highway		
Gaffney	Daniel M.	2	307	S Walnut Street		
Gagne	Roger	2	1	Gagne Lane		
Gallego	Margaret K.	3	803	N Washington Street		
Garbutt	Ella F.	2	105	Wilbur Street		
Garbutt	John W.	2	105	Wilbur Street		
Garner	Martha E.	1	632	Marshall Street		
Garner	Robert L.	1	632	Marshall Street		
Geise	Ellis W.	2	7	W Clarke Avenue		
Geise	Marian M.	2	7	W Clarke Avenue		
Genco	David Thomas	1	17	W Thrush Drive		Meadows at Shawnee
Genco	Lisa Maire	1	17	W Thrush Drive		Meadows at Shawnee
George	Diane S.	3	9	Governor Burton Court		Sawmill Village
Gerber	Ronald Dale	3	36	General Torbert Drive		Sawmill Village
Getz	Eric A.	2	603	Reed Road		Lakelawn Estates
Giannone	Julieann E.	1	3	W Thrush Drive		Meadows at Shawnee
Giannone	Riccardo Giovanni	1	3	W Thrush Drive		Meadows at Shawnee
Gibson	Douglas A.	4	704	North Street Ext		
Gibson	Evelyn Mary	1	155	Rock Ledge Court		Hearthstone Manor
Gilbert	Gerri L.	1	3401C	N Sagamore Drive		Hearthstone Manor
Gilbert	Lisette C.	1	25	E Green Lane		Orchard Hill
Giles	Michael Howard	3	5608	Camberly Drive		Fork Landing
Gilewski	Teresa J.	4	2	Archers Way		Archers Knoll
Gill	Charles E. Jr.	3	209	McColley Street		
Gill	Dora J.	3	209	McColley Street		
Gillespie	Brenden Patrick	3	508	Mispillion Street		
Gillespie	David A.	3	505	N Washington Street		
Gillespie	Harvey D.	3	508	Mispillion Street		
Gillespie	Laraine J.	3	508	Mispillion Street		
Gillespie	Margaret A.	3	505	N Washington Street		
Gillespie	Steven D.	2	1025	S Walnut Street		
Gillette	Betty J.	1	304	Richard Street		
Gilliss	Andrew Glenn	3	41	Shore Lane		Lighthouse Estates
Ginn	Vivian Fowler	1	20	Clearview Drive		Hearthstone Manor
Givens	Gary F.	2	608	S Walnut Street		
Gladstone	John R.	1	1	E Green Lane		Orchard Hill
Gladstone	Sheila M.	1	1	E Green Lane		Orchard Hill
Gleason	Charles O.	3	301	SE Second Street		
Gleysteen	Diana M.	2	426	S Walnut Street		
Gleysteen	Dirk Graham	2	426	S Walnut Street		

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Godwin	Dawn M.	3	811	SE Second Street		
Godwin	Milton B.	3	811	SE Second Street		
Goldstein	Marsha	1	15	W Thrush Drive		Meadows at Shawnee
Goldstein	Paul R.	1	15	W Thrush Drive		Meadows at Shawnee
Gonzalez	Elaise	3	803	SE Second Street	A	
Good	Christopher Alexander	3	411	East Street		
Good	Joan Silvers	3	411	East Street		
Gooden	Jayne Nicole	1	310	Fisher Avenue		
Goodman	D. Corrine	1	803	Joshua Drive		Matlinds Estates
Goodman	James P.	1	803	Joshua Drive		Matlinds Estates
Goodwin	Shirley E.	3	204	Charles Street		
Goracci	Marie	1	404	Matthew Circle		Matlinds Estates
Goracci	Robert	1	404	Matthew Circle		Matlinds Estates
Gordon	Georgia Dillon	1	9	Hickory Branch Lane		Hearthstone Manor
Gordon	Pamela Geneen	4	114	Bright Way		Brightway Commons
Gordon	Robert Elton	1	9	Hickory Branch Lane		Hearthstone Manor
Gorrin	Ann R.	2	125	School Place		
Gorrin	Daniel Peter	2	125	School Place		
Gorrin	Paul E.	2	125	School Place		
Gosnell	Elaisa Sanchez	1	16	Little Pond Drive		Meadows at Shawnee
Gosnell	Peter J.	1	16	Little Pond Drive		Meadows at Shawnee
Goswick	Charles E.	1	5	Little Birch Drive		Hearthstone Manor
Gottfried	Benjamin F.	1	14	Royal Court		Orchard Hill
Gottfried	Nancy L.	1	14	Royal Court		Orchard Hill
Gottstein	Kim Louise	1	13	Royal Drive		Orchard Hill
Gough	Nicole F.	4	135	NW Front Street		
Grabowski	Henry	2	14	W Clarke Avenue		
Grabowski	Linda L.	2	14	W Clarke Avenue		
Graham	Pamela J.	3	26	General Torbert Drive		Sawmill Village
Graham	Susannah C.	2	511	S Walnut Street		
Graham-Rowe	Lynda S.	3	219A	N Walnut Street		
Grammer	Brian L.	1	4	Royal Court		Orchard Hill
Green	Barbara Jean	4	239	S Landing Drive		Knotts Landing
Green	Katsuyo S.	3	617	N Walnut Street		
Green	Leon M.	3	36	General Torbert Drive		Sawmill Village
Green	Priscilla J.	2	415	Kings Highway		
Green	Richard A.	2	415	Kings Highway		
Greenage	Paul W.	3	218	N Walnut Street		
Greenwood	Anna E.	1	139	Hickory Branch Court		Hearthstone Manor
Gregory	Eleanor S.	1	304	Bridgeham Avenue		
Gregory	Ida Mae	3	104	Brady Drive		
Gregory	Maynard R. Jr.	1	304	Bridgeham Avenue		

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Griffin	Emma Jane	4	220	North Street		
Griffin	Luther J.	4	220	North Street		
Griffith	Nancy Jo	1	35	Little Birch Drive		Hearthstone Manor
Griffith	Thomas Calvin	1	35	Little Birch Drive		Hearthstone Manor
Grimanelis	Gary D.	1	33	Meadow Lark Drive		Meadows at Shawnee
Griner	Donna Lynn	4	166	Church Hill Road		
Guerke	Gwen F.	2	709	S Walnut Street		
Gunning	Emma W.	2	317	S DuPont Boulevard		
Haack	Audrey H.	2	814	New Street		
Hakes	Jennnifer L.	3	813	N Washington Street		
Hall	David William	1	106	Marlin Court		Orchard Hill
Hall	Janice L.	1	106	Marlin Court		Orchard Hill
Halstead	Ward B.	4	226	S Landing Drive		Knotts Landing
Hamer	Patricia E.	1	135	Aspen Court		Hearthstone Manor
Hamer	Thomas H.	1	135	Aspen Court		Hearthstone Manor
Hamilton	Mary M.	3	701	SE Front Street		
Hammond	Charles T. Jr.	4	608	North Street Ext		
Hammond	Eunice Regina	4	608	North Street Ext		
Hammond	Zahuier	4	712	North Street		
Hangstefer	Priscilla Lynn	1	14	W Thrush Drive		Meadows at Shawnee
Hardy	Alice S.	1	604	McColley Street		
Hardy	Sandra E.	1	521	McColley Street		
Hardy	William A. I.	1	604	McColley Street		
Hardy	William A. II	1	521	McColley Street		
Harkins	Ada E.	1	3103I	E Brookmyer Drive		Hearthstone Manor
Harmon	Diana C.	4	304	Truitt Avenue		
Harmon	Theresa Y.	4	0	Truitt Avenue		
Harrington	Jean F.	4	800	Parson Thorne Apartments		
Harris	Anthony	2	101	Montgomery Street		
Harris	Fernando O.	2	200	SE Front Street		
Harris	James O.	4	103	NW Fourth Street		
Harris	John D.	3	25	McColley Street		
Harris	Mary E.	4	103	NW Fourth Street		
Harris	Ronald Dale	4	309	N Church Street		
Harris	Tina Y.	4	106	Bright Way		Brightway Commons
Harrison	Beverly Rhodes	1	141	Barksdale Court		Hearthstone Manor
Hart	Darcel D.	1	18	Little Pond Drive		Meadows at Shawnee
Hart	Dawn M.	2	609	S Walnut Street		
Hart	Samuel	1	18	Little Pond Drive		Meadows at Shawnee
Hastings	Bonnie J.	1	312	Fisher Avenue		
Hastings	Granville E. Jr.	1	312	Fisher Avenue		
Hastings	Rorie S.	3	41	Fisher Avenue		

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Hatch	Timothy Albert	1	1002	Lemuel Street		
Hauck	John D.	1	5	Hickory Branch Lane		Hearthstone Manor
Haug	Laura Kristin	1	614	Beechwood Avenue		Marshall Commons
Hauser	Charles A.	1	302	McColley Street		
Hauser	Karen Renee	1	302	McColley Street		
Haverkamp	Howard F.	2	5	Donovan Street		
Hawk-Jarman	Jody Jeanette	2	316	Lakelawn Drive		Lakelawn Estates
Hayes	Karolyn S.	2	10	Causey Avenue		
Hayes	Paul D.	2	10	Causey Avenue		
Hazzard	Carla J.	1	703	Lindsay Lane		Matlinds Estates
Hazzard	Richard M.	1	703	Lindsay Lane		Matlinds Estates
Hazzard	Roy L.	4	108	N Church Street		
Hazzard	Vivian J.	2	503	Caulk Road		Lakelawn Estates
Heinold	Mary Ann	2	607	Lakelawn Drive		Lakelawn Estates
Heller	Betty M.	3	18	General Torbert Drive		Sawmill Village
Heller	David S.	3	18	General Torbert Drive		Sawmill Village
Hemshrot	Alva W.	1	101	W Green Lane		Orchard Hill
Hemshrot	Gene A.	1	101	W Green Lane		Orchard Hill
Henderlong	Shirley A.	3	44	Fisher Avenue		
Henderson	Carol S.	3	8	NW Second Street		
Henderson	Eugene W.	3	8	NW Second Street		
Hendley	Milton Francis	4	130	N Landing Drive		Knotts Landing
Hendley	Shari Ann	4	130	N Landing Drive		Knotts Landing
Hendricks	Sandra Lynne	1	101	W Green Lane		Orchard Hill
Hendricks Jr	Sanford Dale	1	101	W Green Lane		Orchard Hill
Hennelly	Michael J.	3	101	NE Tenth Street		
Hennelly	Sally Ann	3	101	NE Tenth Street		
Henry	Sophonra	3	107	Brady Drive		
Hepford	Sharon R.	1	139	Aspen Court		Hearthstone Manor
Hepford	Walter J.	1	139	Aspen Court		Hearthstone Manor
Herholdt	Thomas S.	2	603	New Street		
Herring	Carri Ann	3	215	Columbia Street		
Herring	Garrett W.	3	215	Columbia Street		
Herring	James B.	2	308	Regent Road		Lakelawn Estates
Herron	Christine Marie	4	10	Rogers Drive		
Herron	Dale Marie	4	106	Ginger Lane		Knotts Landing
Herron	David William	4	106	Ginger Lane		Knotts Landing
Hess	Nancy H	2	601	Seabury Avenue		
Hess	Patricia Ann	1	201	Beaufort Lane		Orchard Hill
Hess	Thomas Vernon	1	201	Beaufort Lane		Orchard Hill
Heverly	Holly Rae	2	712	New Street		
Hicks	Harold E	4	400	N Church Street		

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Hicks	Robert Wayne	1	311	Marshall Street		
Higgins	James L.	1	20	Meadow Lark Drive		Meadows at Shawnee
Higgins	Karyn J.	1	20	Meadow Lark Drive		Meadows at Shawnee
Hill	Mary	3	47	General Torbert Drive		Sawmill Village
Hill	Robert S.	4	0	Silver Lake Estates		
Hill	William D.	3	906	SE Second Street		
Hinex	Larry Jr.	1	26	Meadow Lark Drive		Meadows at Shawnee
Hinton	Carolyn E.	4	100	Bright Way		Brightway Commons
Hludzinski	Donna Marie	3	15	Anchor Lane		Lighthouse Estates
Hludzinski	Dorothy A.	3	111	Anchor Lane		Lighthouse Estates
Hludzinski	Robert C.	3	111	Anchor Lane		Lighthouse Estates
Hludzinski	Thomas M.	3	15	Anchor Lane		Lighthouse Estates
Hobbs-Austin	Sandra Yvonne	1	118	W Green Lane		Orchard Hill
Hochstedler	Lois S.	2	428	S Washington Street		
Hoey	Amy L.	2	802	New Street		
Hoey	Conor Adrian	2	802	New Street		
Hoey	Walter J. III	2	802	New Street		
Hoie	Christine E.	1	22	Kingston Terrace		Hearthstone Manor
Holden	Claudia H.	4	100	Drew Street		
Holden	Elroy S.	4	100	Drew Street		
Holleger	Helen M.	2	401	Crestview Drive		Lakelawn Estates
Holleger	Hilda M.	3	101	Charles Street		
Holleger	Julia L.	1	3901B	Fullerton Court		Hearthstone Manor
Holleger	Richard J. Jr.	3	101	Charles Street		
Hollingsworth	Robert C.	2	719	S DuPont Boulevard		
Hollingsworth	Shirley A.	2	719	S DuPont Boulevard		
Hollis	Alicia	3	611	N Washington Street		
Holmes	Rochelle E.	4	205	Parson Thorne Apartments		
Holmes	Theresa C.	4	715	N Church Street		
Hood	Jana M.	4	30	NW Tenth Street		
Hood	Vernon J.	4	30	NW Tenth Street		
Hooper	Michael Lee	2	7	Mill Street		
Hooper	Rebecca M.	2	7	Mill Street		
Hopkins	Brenda D.	4	3	Lucia Circle		
Hopkins	Edith Z.	3	18	Marshall Street		
Hopkins	Harmon R.	3	18	Marshall Street		
Hopkins	Steven E.	4	3	Lucia Circle		
Horney	Maryvone A.	2	3	W Clarke Avenue		
Hosbach	Norman A.	2	425	S Washington Street		
Houser	Doreen L.	3	403	N Walnut Street		
Houser	Lawrence J. Jr.	3	403	N Walnut Street		
Hovatter	Carrie Ann	2	301	Lakeview Avenue		

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Hovatter	David Lester	2	301	Lakeview Avenue		
Hovatter	Matthew David	2	301	Lakeview Avenue		
Howard	Caleb Jr.	4	441	North Street		
Howard	Dena I.	1	114	Rock Ledge Court		Hearthstone Manor
Howard	Eli Jeremy	2	801	New Street		
Howard	Ernest J.	3	105	Bridgeham Avenue		
Howard	Jerald W.	2	707	Seabury Avenue		
Howard	Kevin E.	2	19	Nelson Street		
Howard	Lynn M.	2	19	Nelson Street		
Howard	Maxine R.	2	707	Seabury Avenue		
Howard	Megan Hudson	2	801	New Street		
Howard	Melva L.	3	105	Bridgeham Avenue		
Howell	Bonnie Lee	3	68	Cedar Beach Road		
Howell	Bruce	3	68	Cedar Beach Road		
Howell	Constance L.	2	317	S Walnut Street		
Hoyer	Michael W.	3	605	N Walnut Street	Apt 1/2	
Hubbard	Kathleen Laremore	3	17	McColley Street		
Hudson	Curtis J.	2	504	Marvel Road		Lakelawn Estates
Hudson	Donald Walter	4	122	N Landing Drive		Knotts Landing
Hudson	George W.	1	15	E Green Lane		Orchard Hill
Hudson	Heather Marie	2	307	Hall Place		
Hudson	Judith K.	4	122	N Landing Drive		Knotts Landing
Hudson	Rebecca K.	2	504	Marvel Road		Lakelawn Estates
Hudson	Sandra Kay	1	15	E Green Lane		Orchard Hill
Hudson	Sara Thomas	1	26	Clearview Drive		Hearthstone Manor
Hudson	Scott James	2	307	Hall Place		
Hudson	Victor Lester	3	19593	Drummond Drive		Fork Landing
Hudy	Anthony W.	3	811	N Washington Street		
Hudy	Mary Jo	3	811	N Washington Street		
Huey	Jennifer Michelle	3	601	SE Second Street		
Huff	JoAnn H.	1	119	Hickory Branch Court		Hearthstone Manor
Huff	Warren R.	1	119	Hickory Branch Court		Hearthstone Manor
Hugg	Margaret R.	4	708	Parson Thorne Apartments		
Hughes	Frederick A. Jr.	3	206	NE Fourth Street		
Hughes	John M.	3	701	SE Second Street		
Hughes	Nancy M.	1	6	Fairway Court		Orchard Hill
Hughes	Patricia	1	3602E	N Sagamore Drive		Hearthstone Manor
Hughes	Shirley J.	3	206	NE Fourth Street		
Hughes	William A.	1	601	Montgomery Street		
Hughes	William S.	1	6	Fairway Court		Orchard Hill
Humes	Alan Wesley	2	513	Caulk Road		Lakelawn Estates
Humes	Carolyn M.	2	102	Lakelawn Drive		Lakelawn Estates

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Humes	Harry E.	2	102	Lakelawn Drive		Lakelawn Estates
Humes	Thomas H.	2	510	Caulk Road		Lakelawn Estates
Hunt	Christine A.	1	147	Barksdale Court		Hearthstone Manor
Hunt	Peter J.	1	147	Barksdale Court		Hearthstone Manor
Hunter	Corry M.	2	103	S Church Street		
Hunter	Elsie R.	2	816	New Street		
Hunter	Gary M.	3	203	Charles Street		
Hunter	Rebekah J.	2	103	S Church Street		
Hunter	Sharon L.	3	203	Charles Street		
Hurd	Daniel Wayne	4	12	Rogers Drive		
Hurd	Jennifer L.	4	12	Rogers Drive		
Hurst	John S.	4	205	S Landing Drive		Knotts Landing
Hurst	Mary Carol	4	205	S Landing Drive		Knotts Landing
Hutcheson	Marc C.	3	19586	Drummond Drive		Fork Landing
Hutchman	Jean S.	4	111	Ginger Lane		Knotts Landing
Hutchman	Merry Lynn	4	111	Ginger Lane		Knotts Landing
Hutson	Kurt M.	2	6493	Shawnee Road		
Hutson	Sandra Watson	2	6493	Shawnee Road		
Iacono	Anita L.	2	18546	Eleanor Lane		Walnut Village
Imwold	Charles Stewart	3	19594	Drummond Drive		Fork Landing
Imwold	Janice Minge	3	19594	Drummond Drive		Fork Landing
Irons	Charles G. Jr.	2	3	Elizabeth Street		
Irons	Sandra F.	2	3	Elizabeth Street		
Irwin	Dorothy H.	2	510	NW Front Street	1	
Irwin	Selma R.	2	8	Pennsylvania Avenue		
Irwin	Willard J. Jr.	2	8	Pennsylvania Avenue		
Isenbarger	Dennis L.	3	810	East Street		
Iturriaga	Joseph C.	2	7	Pennsylvania Avenue		
Jackson	Carol A.	1	151	Hickory Branch Court		Hearthstone Manor
Jackson	John L. Jr.	1	151	Hickory Branch Court		Hearthstone Manor
Jackson	Virginia L.	4	805	N DuPont Boulevard		
James	Dashon Cornelius	2	11	SE Second Street		
James	Jason L. Sr.	4	1	James Drive		
James	Pamela T.	4	1	James Drive		
Jarman	Harry E. III	2	316	Lakelawn Drive		Lakelawn Estates
Jarrell	Joyce Mae	2	420	S Washington Street		
Jecen	John Anthony	2	11	McCoy Street		
Jefferson	Justin C.	3	314	S Rehoboth Boulevard		
Jefferson	Kim M.	3	314	S Rehoboth Boulevard		
Jenary	Rose Marie	1	151	Aspen Court		Hearthstone Manor
Jenkins	Daniel O.	3	5	Governor Watson Court		Sawmill Village
Jenkins	Patricia A.	3	5	Governor Watson Court		Sawmill Village

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Jenkins	Tammy S.	3	316	S Rehoboth Boulevard		
Jensen	Robert J.	3	104	Bridgeham Avenue		
Jensen	Valerie	3	207	NE Fourth Street		
Jenson	Moses M.	4	604	N Church Street		
Jester	Alan R.	3	809	N Walnut Street		
Jester	Allen S. Jr.	3	401	N Rehoboth Boulevard		
Jester	Diane L.	3	415	East Street		
Jester	Eric Michael Wayne	1	505	Marshall Street		
Jewell	Margaret W.	2	705	S DuPont Boulevard		
Johansson	Patrica C.	1	703	Beechwood Court		Marshall Commons
Johansson	William F.	1	703	Beechwood Court		Marshall Commons
Johnson	Carole Ann	1	619	Beechwood Avenue		Marshall Commons
Johnson	Cindy Lynn	1	23	E Bullrush Drive		Meadows at Shawnee
Johnson	Cynthia A.	2	624	NW Front Street		
Johnson	Darron R.	4	605	North Street Ext		
Johnson	Dorothy S.	4	102	Parson Thorne Apartments		
Johnson	George W. Jr.	1	23	E Bullrush Drive		Meadows at Shawnee
Johnson	Grace	3	104	NE Tenth Street		
Johnson	Jay Alan	2	401	S Walnut Street		
Johnson	Steven L.	1	3703L	S Sagamore Drive		Hearthstone Manor
Johnson	Teresa M.	4	700	Truitt Avenue Ext		
Johnson	Wayne Brian	4	604	N Church Street		
Johnson	William	4	700	Truitt Avenue Ext		
Johnston	Gary E.	1	514	Marshall Street		
Johnston	Stuart Douglas	1	601	Maple Street		Marshall Commons
Johnstone	Christopher Scott	2	503	S Walnut Street		
Jones	Barbara W	2	5	Elizabeth Street		
Jones	Bessie	1	315	Fisher Avenue		
Jones	Betty J.	2	6	Pennsylvania Avenue		
Jones	Betty R.	1	509	Marshall Street	A	
Jones	Jesse A. Jr.	2	5	Elizabeth Street		
Jones	June	2	5	S Maple Avenue		
Jones	Kathleen Callahan	1	28	Kingston Terrace		Hearthstone Manor
Jones	Margaret Ann	2	500	S DuPont Boulevard		The Heritage
Jones	Margarette C.	3	801	N Washington Street		
Jones	Paul Sevier Jr.	1	28	Kingston Terrace		Hearthstone Manor
Jones	Shelby Lynn	2	4	Kings Highway		
Jones-Warfield	Deirdre Aileen	3	110	Brady Drive		
Joseph	Anita B.	1	179	Hickory Branch Court		Hearthstone Manor
Joseph	John W.	3	921	SE Front Street		
Joseph	Kevin Thomas Jr.	2	18556	Eleanor Lane		Walnut Village
Joseph	Ronnie M.	1	179	Hickory Branch Court		Hearthstone Manor

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Judd	Laurie Lee	1	307	Richard Street		
Kalesis	Panagioti	1	3	E Green Lane		Orchard Hill
Kaur	Charanjit	1	3	E Thrush Drive		Meadows at Shawnee
Kean	David B.	4	5	Linstone Lane	409	Silver Lake Apartments
Keen	Donald	1	5	Iroquois Avenue		Orchard Hill
Keen	Michele Stevens	1	5	W Thrush Drive		Meadows at Shawnee
Kehler	Harry C. Jr.	4	103	Parson Thorne Apartments		
Kehler	Sarah B.	4	103	Parson Thorne Apartments		
Keith	Craig Allan	2	510	Lakeview Avenue		
Kellam	Patsy Lea	4	201	N Church Street		
Kelly	James Edward	4	205	NW Front Street		
Kelly	Raymond H.	4	205	NW Front Street		
Kelly	Stephanie Carlyn	2	12	Causey Avenue		
Kelso	Peter Daniel	3	903	SE Second Street		
Kemp	Barbara S.	2	8	S Maple Avenue		
Kemp	Ronald J.	2	305	Regent Road		Lakelawn Estates
Kemp	Roy B. Jr.	2	305	Regent Road		Lakelawn Estates
Kemp	Ruth Ann	2	305	Regent Road		Lakelawn Estates
Kemper	Carmen V.	2	13	McCoy Street		
Kemper	Robert E.	2	13	McCoy Street		
Kenton	David W.	2	200	Lakeview Avenue		
Kenton	Dawn D.	2	200	Lakeview Avenue		
Kenton	Elouise B.	2	309	S Washington Street		
Kenton	George Nelson Jr.	2	302	Kent Place		
Kenton	Karen L.	2	302	Kent Place		
Kenton	Mariam E.	4	415	Silver Lake Estates	A	
Kiefer	Carol A.	1	312	Matthew Circle		Matlinds Estates
Kiefer	Jane Mary	1	312	Matthew Circle		Matlinds Estates
Kiefer	John M.	1	312	Matthew Circle		Matlinds Estates
Kijewski	Robert John	3	30	Fisher Avenue		
Killian	Kevin Patrick	1	44	Meadow Lark Drive		Meadows at Shawnee
Killian	Patricia Marie	1	44	Meadow Lark Drive		Meadows at Shawnee
Kimbrough	Kathy A.	4	308	North Street		
Kimmel	Doris	2	300	Lakelawn Drive		Lakelawn Estates
Kimmey	JoEllen	2	600	New Street		
Kimmey	Ted M.	2	600	New Street		
King	Alton Clarence	3	710	N Washington Street		
King	Deborah Faye	3	710	N Washington Street		
King	Gifford P	4	406	N Walnut Street		
King	Joan Diane	3	617	SE Front Street		
King	John F.	1	1	Costabella Court		Orchard Hill
King	Maeve Eileen	4	6	Lucia Circle		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
King	Nancy L.	1	1	Costabella Court		Orchard Hill
Kingsley	Joann Ellen	1	3602F	N Sagamore Drive		Hearthstone Manor
Kinkle	Barbara R.	1	160	Rock Ledge Court		Hearthstone Manor
Kinkle	Carol Ann	1	160	Rock Ledge Court		Hearthstone Manor
Kinports	Donna Marie	1	32	Clearview Drive		Hearthstone Manor
Kinports	Richard Martin	1	32	Clearview Drive		Hearthstone Manor
Kinzer	Barbara A.	3	203	North Street		
Kirby	Alyce Louise	1	2	W Bullrush Drive		Meadows at Shawnee
Kirby	Robert J. Jr.	2	406	Evergreen Circle		Lakelawn Estates
Kirby	Russell Rudy II	2	206	Cherry Street		
Kirby	Thomas Ray	1	2	W Bullrush Drive		Meadows at Shawnee
Kirk	Rita Jacqueline	1	105	Delaware Avenue		
Kitzmiller	Arthur L.	2	4	W Clarke Avenue		
Kitzmiller	Colleen M.	2	4	W Clarke Avenue		
Klein	John Richard	1	5	Royal Court		Orchard Hill
Kline	Beverly J.	1	3	Briar Court		Meadows at Shawnee
Kline	Dyson James	4	246	S Landing Drive		Knotts Landing
Kline	Harvey Eugene	1	3	Briar Court		Meadows at Shawnee
Kline	MaryJo	4	246	S Landing Drive		Knotts Landing
Kling	Anne C	1	4401A	Fullerton Court		Hearthstone Manor
Knapp	Nancy Frances	3	805	N Walnut Street		
Knapp	Robert Lawrence	3	805	N Walnut Street		
Knorr	Barclay Alan	1	130	W Green Lane		Orchard Hill
Knotts	Keith Alan	2	514	Kings Highway		
Koetz	Jacqueline	1	136	Manor Lane		
Kooner	Kalwant S.	1	3	E Thrush Drive		Meadows at Shawnee
Koropka	Stanley J. Jr.	2	611	Marvel Road		Lakelawn Estates
Kotwas	Alexander E.	1	145	Barksdale Court		Hearthstone Manor
Kovack	Jerry F.	2	17776	Oak Hill Drive		
Kramlich	Essie E.	3	300	SE Front Street		
Krumm	Larry Martin	4	906	N Church Street		
Krumm	Norma Jean	4	906	N Church Street		
Kufahl	Sharon Annette	2	715	Seabury Avenue		
Kulhanek	Stephanie M.	1	416	Marshall Street		
Kunkel	Kenneth Christopher	1	152	Rock Ledge Court		Hearthstone Manor
Kurtz	Eleanor Frances Burnet-	1	3903I	Fullerton Court		Hearthstone Manor
Labajo	Nila B.	1	6	W Bullrush Drive		Meadows at Shawnee
Labajo	Pike G.	1	6	W Bullrush Drive		Meadows at Shawnee
Lacaillade	Henry E.	1	4402F	Fullerton Court		Hearthstone Manor
Lacaillade	Rafaela M.	1	4402F	Fullerton Court		Hearthstone Manor
Lane	Janet Virginia	1	6	Crown Circle		Orchard Hill
Lane	Lula M.	3	118	Marshall Street		

City of Milford
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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Lane	Richard Alan Sr.	1	3	Fairway Court		Orchard Hill
Lane	Rufus G.	1	6	Crown Circle		Orchard Hill
Lane	Shirley J.	1	3	Fairway Court		Orchard Hill
Lank	Diane J.	2	13	Sunset Lane		
Lank	Robert B.	2	13	Sunset Lane		
Lankford	Patricia L.	3	106	NE Tenth Street		
Lanzano	Dee Ann	4	216	S Landing Drive		Knotts Landing
Lanzano	Michael Dominic	4	216	S Landing Drive		Knotts Landing
Lardner	Janet M.	4	228	S Landing Drive		Knotts Landing
Lardner	Ring William	4	228	S Landing Drive		Knotts Landing
Larue	Eric Todd	3	207	NE Fourth Street		
Lau	Wilson Bryan Jr.	3	19596	Drummond Drive		Fork Landing
Lavallee	Jennifer L.	2	425	S Walnut Street		
Lavallee	Troy Alan	2	425	S Walnut Street		
Lawhorn	Samuel N.	4	435	North Street		
Lawrence	Nancy J.	2	454	Kings Highway		
Lawrence	Ronald W.	2	454	Kings Highway		
Layfield	Anita L.	2	900	S DuPont Boulevard		
Layton	Jane H.	2	113	School Place		
Leach	John Miller	4	121	N Landing Drive		Knotts Landing
Leach	Margaret Mary	4	121	N Landing Drive		Knotts Landing
Lear	Mary Jo	1	616	Cedarwood Avenue		Marshall Commons
Lear	Norman J. Sr.	1	616	Cedarwood Avenue		Marshall Commons
Lebengood	Ann M.	1	145	Rock Ledge Court		Hearthstone Manor
Lebengood	Peter Reed	1	145	Rock Ledge Court		Hearthstone Manor
LeBright Roberts	Niecy	2	10	E Clarke Avenue		
Lee	Jamie Marie	2	409	S Washington Street		
Lee	Mary S.	3	617	SE Front Street	A	
Lee	Melissa A.	1	4102E	Summer Brook Way		Hearthstone Manor
LeGree	Ellen A.	4	103	Bright Way		Brightway Commons
Legros	Diliana	4	401	North Street		
Lehman	Jennifer Marie	1	28	Fairway Street		Orchard Hill
Lehr	Darlene R.	1	24	Clearview Drive		Hearthstone Manor
Leith	Marikate McIver	1	32	Meadow Lark Drive		Meadows at Shawnee
Leithmann	Theodor	4		Silver Hill Apartments	A-3	
Lender	Elizabeth J.	4	104	Alexa Court		Knotts Landing
Lender	Robert B.	4	104	Alexa Court		Knotts Landing
Lenet	Elizabeth Ann	4	252	S Landing Drive		Knotts Landing
Lenet	Howard Alan	4	252	S Landing Drive		Knotts Landing
Lerch	Jane L.	1	308	Matthew Circle		Matlinds Estates
Lessner	Gabrielle Margaret	1	1	E Thrush Drive		Meadows at Shawnee
Lessner	Timothy B.	1	1	E Thrush Drive		Meadows at Shawnee

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Leuthauser	Joanne	4	506	Ashley Way		Milford Crossing
Leutz	Clara M.	4	5	Linstone Lane	201	Silver Lake Apartments
Leutz	Henry P.	4	5	Linstone Lane	201	Silver Lake Apartments
Levenson	Louis Elliott	1	17	Fairway Street		Orchard Hill
Levin	Harold P.	1	704	Beechwood Court		Marshall Commons
Lewis	Arthur William	1	9	Little Birch Drive		Hearthstone Manor
Lewis	Bessie M.	4	103	Moyer Circle	B	Milford Crossing
Lewis	Bobby Lee	3	16	General Torbert Drive		Sawmill Village
Lewis	Caroline A.	3	218	N Walnut Street		
Lewis	Lawrence Edward Jr.	4	5	Linstone Lane	202	Silver Lake Apartments
Lewis	Leroy	4	103	Moyer Circle	B	Milford Crossing
Lewis	Lillian Elizabeth	3	16	General Torbert Drive		Sawmill Village
Lewis	Linda A.	4	5	Linstone Lane	212	Silver Lake Apartments
Lewis	Sonja R.	4	712	North Street		
Lewis	Linda Spare	1	4502H	Summer Brook Way		Hearthstone Manor
Limardi	Joseph N.	4	23	Linstone Lane	2	Silver Lake Apartments
Lindale	Nicholas B.	2	11	Mill Street		
Lindale	Sheila D.	2	11	Mill Street		
Littleton	Beatrice L.	4	5	Linstone Lane	414	Silver Lake Apartments
Littmann	Helmut K.	1	3301A	S Sagamore Drive		Hearthstone Manor
LoBiondo	Jon R	1	3	Iroquois Avenue		Orchard Hill
LoBiondo	Stephanie Lynn	1	3	Iroquois Avenue		Orchard Hill
Lodge	H. Patricia	3	905	N Walnut Street		
Loeffler	Adam E.	3	1002	SE Second Street		
Lofland	Barbara B.	2	711	S DuPont Boulevard		
Lofland	Joan W.	3	6	Columbia Street		
Lofland	Joseph Sudler	3	6	Columbia Street		
Lofland	Medford R.	2	711	S DuPont Boulevard		
Long	Curtis C.	1	316	Matthew Circle		
Long	Deborah Kenton	1	316	Matthew Circle		
Long	Gary R.	1	201	Matthew Circle		Matlinds Estates
Long	Sydell R.	1	201	Matthew Circle		Matlinds Estates
Longo	Christine	1	13	Crown Circle		Orchard Hill
Longo	Robert Jude	1	13	Crown Circle		Orchard Hill
Lopez	Jose Martin	3	703	SE Second Street		
LoPresti	Thomas J.	4	123	N Landing Drive		Knotts Landing
Lorenz	Bruce R.	2	306	S Walnut Street	B	
Louis	Duvanel Richard	4	401	North Street		
Louis	Marise	4	401	North Street		
Love	Cynthia B.	4	108	Truitt Avenue		
Love	Michael J.	4	108	Truitt Avenue		
Loveland	Margaret	3	701	SE Front Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Lucas	A.C. Houston	2	430	S Walnut Street		
Luchinsky	Alan Lee	1	154	Rock Ledge Court		Hearthstone Manor
Luchinsky	Sharon L.	1	154	Rock Ledge Court		Hearthstone Manor
Luiken	Dharma A.	2	403	Lakeview Avenue		
Luiken	Richard C.	2	403	Lakeview Avenue		
Lush	Elizabeth Ann	1	31	E Green Lane		Orchard Hill
Lush	Mary Ann E.	1	31	E Green Lane		Orchard Hill
Lush	Richard M.	1	31	E Green Lane		Orchard Hill
Lynch	John T.	1	118	Rock Ledge Court		Hearthstone Manor
Lynch	Judy Ann	1	3702H	S Sagamore Drive		Hearthstone Manor
Lynch	Raymond E.	1	3702H	S Sagamore Drive		Hearthstone Manor
Mace	Angel S.	3	807	N Washington Street		
Mackie	Audrey M	2	12	E Clarke Avenue		
Mackie	George P III	2	12	E Clarke Avenue		
MacMillan	Donald D.	1	708	Lindsay Lane		Matlinds Estates
MacMillan	Teri R.	1	708	Lindsay Lane		Matlinds Estates
Madden	Jane Nunnally	2	29	N Church Street		
Mahammitte	Charles V.	1	3202E	E Brookmyer Drive		Hearthstone Manor
Mahammitte	Sandra	1	3202E	E Brookmyer Drive		Hearthstone Manor
Maire	Kathleen E.	3	701	SE Front Street		
Majoch	Kaye M.	2	504	Crestview Drive		Lakelawn Estates
Majoch	Ladislav V.	2	504	Crestview Drive		Lakelawn Estates
Maloney	Gladys D.	1	1006	Lemuel Street		
Maloney	Thomas A.	1	1006	Lemuel Street		
Mancini	Sally Ann	1	145	Barksdale Court		Hearthstone Manor
Mansolf	George Bradley	1	16	Meadow Lark Drive		Meadows at Shawnee
Mansolf	Kathleen Ann	1	16	Meadow Lark Drive		Meadows at Shawnee
Mantineo	Gail A.	4	218	S Landing Drive		Knotts Landing
Mantineo	Salvatore Jr.	4	218	S Landing Drive		Knotts Landing
Marabello	Daniel	1	1	Windy Drive		Meadows at Shawnee
Marabello	Licina	1	1	Windy Drive		Meadows at Shawnee
Marcavage	Joseph E.	1	22	Clearview Drive		Hearthstone Manor
Marcavage	Josephine M.	1	22	Clearview Drive		Hearthstone Manor
Marcial-Nieves	Basil	3	101	NE Sixth Street		
Marcial-Nieves	Querube Khasi	3	101	NE Sixth Street		
Marcouillier	Larry J.	2	106	Causey Avenue	A	
Marino	Frances M.	1	511	Matthew Circle		Matlinds Estates
Markowitz	David H.	1	8	E Thrush Drive		Meadows at Shawnee
Markowitz	Gloria K.	1	8	E Thrush Drive		Meadows at Shawnee
Marsh	Barbara J.	4	303	NW Second Street		
Marsh	Steve	4	303	NW Second Street		
Marshall	David W.	4	417	North Street		

City of Milford
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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Marshall	Donnell M.	2	601	New Street		
Marshall	Lisa M.	2	601	New Street		
Marth	Anne Marie Donna	1	31	Meadow Lark Drive		Meadows at Shawnee
Marth	Michael Paul	1	31	Meadow Lark Drive		Meadows at Shawnee
Martin	Betty Louise	1	149	Aspen Court		Hearthstone Manor
Martin	Katherine L.	3	701	N Washington Street		
Martin	Ralph A.	3	211	SE Front Street		
Martin	Willam J. Jr.	3	509	Carlisle Lane		
Martinez-Ramirez	Nery A.	1	6	Windy Drive		Meadows at Shawnee
Martini	Stephen James	1	4	E Thrush Drive		Meadows at Shawnee
Marvel	Catherine	2	409	Woodland Drive		Lakelawn Estates
Marvel	David H. Jr.	2	6525	Shawnee Road		
Marvel	Harvey G. Jr.	2	409	Woodland Drive		Lakelawn Estates
Marvel	Linda M.	4	4	Archers Way		Archers Knoll
Marvel	Patricia Ann	2	6525	Shawnee Road		
Marvel	Randy E.	4	4	Archers Way		Archers Knoll
Mason	Carole G.	1	153	Barksdale Court		Hearthstone Manor
Mason	George A.	1	153	Barksdale Court		Hearthstone Manor
Mason	Sheila G.	3	401	N Washington Street		
Masten	A. Robert	2	8	Lakelawn Drive		Lakelawn Estates
Masten	Charles R. Jr.	2	106	Causey Avenue		
Masten	Elizabeth	2	8	Lakelawn Drive		Lakelawn Estates
Masten	Kathy	2	106	Causey Avenue	A	
Masten	Lise N.	2	103	Lakelawn Drive		Lakelawn Estates
Masten	Patricia Ann	2	406	Lakeview Avenue		
Masten	Robert Wesley	2	103	Lakelawn Drive		Lakelawn Estates
Masten	Stephen T. Sr.	2	406	Lakeview Avenue		
Matthews	Tony M.	4	115	Bright Way		Brightway Commons
Mavity	Ryan Thomas	3	411	East Street		
Mays	John J.	4	615	Parson Thorne Apartments		
Mazzeo	Marie Elizabeth	1	9	Little Birch Drive		Hearthstone Manor
McAllister	Albert	1	1008	Lemuel Street		
McBane	William J. III	3	70	Cedar Beach Road		
McCarthy	Donna Reel	1	4001B	Fullerton Court		Hearthstone Manor
McColley	Karen K.	3	416	NE Tenth Street		
McColley	Lynn A.	3	416	NE Tenth Street		
McCollough	Virginia W.	3	106	NE Fourth Street		
McCrea	Stacey Lyn	4	105	Bright Way		Brightway Commons
McDonough	Donald T.	2	601	Reed Road		Lakelawn Estates
McDonough	Stephanie	2	601	Reed Road		Lakelawn Estates
McDowell	Jon Ray Scott	1	3201A	E Brookmyer Drive		Hearthstone Manor
McDuff	John Dix	1	23	E Green Lane		Orchard Hill

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
McDuff	Zelda Arlene	1	23	E Green Lane		Orchard Hill
McFall	James I.	3	406	SE Front Street		
McFarland	Lisa S	4	602	Silver Hill Apartments		
McFassel	Lexie Shelton	2	433	S Walnut Street		
McGalagly	Gloria Marie	1	13	Little Pond Drive		Meadows at Shawnee
McGalagly	John J.	1	13	Little Pond Drive		Meadows at Shawnee
McGill	Christopher R.	2	9	Delaware Avenue		
McGill	Corey Christopher	2	9	Delaware Avenue		
McGill	Karla L.	2	9	Delaware Avenue		
McGill	Sarah V.	2	9	Delaware Avenue		
McGrath	Ronald T.	1	3102H	W Brookmeyer Drive		Hearthstone Manor
McGrath	Rosemarie	4	116	Ginger Lane		Knotts Landing
McGriffin	James G.	2	200	SE Second Street		
McIlvain	Dennis L.	3	331	S Rehoboth Boulevard	A	
McIlvain	JoAnn	3	331	S Rehoboth Boulevard	A	
McKain	Michael D.	1	705	Cedarwood Court		Marshall Commons
McKinney	Charles Herbert III	2	5859	Old Shawnee Road		
McKinney	Gabrielle Leann	2	5859	Old Shawnee Road		
McLeod	Barbara A.	1	6	Kingston Terrace		Hearthstone Manor
McLeod	Robert Harry	1	6	Kingston Terrace		Hearthstone Manor
McMillan	Michael W.	4	711	Parson Thorne Apartments		
McMillian	Douglas	4	118	NW Third Street		
McMillian	Jeanne V.	4	118	NW Third Street		
McMurray	Charlayne Wood	1	161	Barksdale Court		Hearthstone Manor
McMurray	Thomas Milton	1	161	Barksdale Court		Hearthstone Manor
McNulty	Ryan M	3	2	General Torbert Drive		Sawmill Village
McPherson	Kevin Scott	1	4	E Green Lane		Orchard Hill
Mctheny	Patricia Ilene	2	18	Elizabeth Street		
McVeigh	Juanita F.	1	24	Clearview Drive		Hearthstone Manor
Meade	Andrew S.	2	604	Lakelawn Drive		Lakelawn Estates
Meade	Kay Lynn	2	604	Lakelawn Drive		Lakelawn Estates
Meade	Robert J.	2	604	Lakelawn Drive		Lakelawn Estates
Melton	James Charles	3	113	Star Light Lane		Lighthouse Estates
Melton	Rachel Harriet	3	113	Star Light Lane		Lighthouse Estates
Merchant	Donna L.	2	108	Franklin Street		
Mergner	Christopher Henry	1	1	Delores Court		Orchard Hill
Mergner	Henry H.	4	134	N Landing Drive		Knotts Landing
Mergner	Leslie A.	1	1	Delores Court		Orchard Hill
Mergner	Louise G.	4	134	N Landing Drive		Knotts Landing
Merkel	Lee L.	1	7	Homestead Boulevard		Hearthstone Manor
Merkel	Theresa D.	1	7	Homestead Boulevard		Hearthstone Manor
Merrell	James Harry B.	2	506	Mispillion Apartments		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Mesh	Lora A.	1	10	E Bullrush Drive		Meadows at Shawnee
Mesh	Thaddeus Joseph Jr.	1	10	E Bullrush Drive		Meadows at Shawnee
Messick	Amber Nicole	1	204	E Clarke Avenue		
Messick	Bryant Alden	2	709	S DuPont Boulevard		
Messick	Faith H.	3	220	NE Second Street		
Messick	Sheri Lynn	1	204	E Clarke Avenue		
Messick-Coulbourn	Catherine A.	2	512	Crestview Drive		Lakelawn Estates
Messick-Klensch	Lew A.	2	709	S DuPont Boulevard		
Messick-Klensch	Rachel Frances	2	709	S DuPont Boulevard		
Meszaros	Christina Gravier	1	21	E Green Lane		Orchard Hill
Meszaros	Joseph John	1	21	E Green Lane		Orchard Hill
Metzner	Heather Lynn	1	9	Royal Drive		Orchard Hill
Metzner	Timothy M.	1	9	Royal Drive		Orchard Hill
Meushaw	Jean Ann	1	12	Clearview Drive		Hearthstone Manor
Meushaw	Ronald Wayne	1	12	Clearview Drive		Hearthstone Manor
Miller	Christine Beebe	1	3502E	N Sagamore Drive		Hearthstone Manor
Miller	Christopher Ryan	2	503	Crestview Drive		Lakelawn Estates
Miller	Ellen E.	1	8	Big Pond Drive		Meadows at Shawnee
Miller	Marianna Gail	2	28	W Clarke Avenue		
Miller-Marcin	Christine A	1	18	Clearview Drive		Hearthstone Manor
Miller-Marcin	Joann	1	18	Clearview Drive		Hearthstone Manor
Millman	Pamela M.	1	110	Rock Ledge Court		Hearthstone Manor
Mills	David Douglass	2	210	S Walnut Street		
Mims	Rae Meredith	1	4802E	Summer Brook Way		Hearthstone Manor
Mingo	Ajahni E.	2	424	Kings Highway		
Mingo	Donna Ann	2	424	Kings Highway		
Mingo	Lindon Forbes	2	424	Kings Highway		
Minor	Carol S.	2	405	Lakeview Avenue		
Minor	Herbert Wayne	2	405	Lakeview Avenue		
Mintzer	Betty Lou	3	509	SE Front Street		
Mitchell	Alan J.	3	109	Fisher Avenue		
Mitchell	Barbara Jean	2	404	NW Front Street		
Mitchell	Helen P.	4	1036	N Walnut Street		Travelers Inn
Mitchell	John E. Sr.	4	1036	N Walnut Street		Travelers Inn
Mitchell	Myra Kay	1	300	Columbia Street		
Mitchell	Myra Kay	3	213	Charles Street		
Mitchell	Myra Kay	2	605	Marvel Road		Lakelawn Estates
Mitchell	Randy Clark	3	213	Charles Street		
Mitchell	Randy Clark	1	300	Columbia Street		
Mitchell	Randy Clark	2	605	Marvel Road		Lakelawn Estates
Mojica	Benito	4	201	Allen Way	32	Brightway Commons
Mollura	Brenda M.	1	3	Little Pond Drive		Meadows at Shawnee

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Mollura	John A.	1	3	Little Pond Drive		Meadows at Shawnee
Moore	Denise C.	2	6502	Shawnee Road		
Moore	Leroy	4		Silver Lake Estates		
Moorman	Laurie Kobasa	1	637	Beechwood Avenue		Marshall Commons
Moorman	Travis C.	1	637	Beechwood Avenue		Marshall Commons
Morecroft	Janet Angela	1	105	Aspen Court		Hearthstone Manor
Morengo	Jesse R.	2	18546	Eleanor Lane		Walnut Village
Morgan	Charles E	2	720	New Street		
Morgan	Dale Anne	2	321	S DuPont Boulevard		
Morgan	Jacqueline Marie	1	1000	Lemuel Street		
Morgan	Joan K.	1	25	Kingston Terrace		Hearthstone Manor
Morgan	Myron E.	2	510	S Walnut Street		
Morgan	Vaughn H.	2	321	S DuPont Boulevard		
Morgan	Woodrow W.	1	25	Kingston Terrace		Hearthstone Manor
Morole	Michelle A.	1	206	Matthew Circle		Matlinds Estates
Morole	Nicholas P.	1	206	Matthew Circle		Matlinds Estates
Morole	Peter A.	1	206	Matthew Circle		Matlinds Estates
Morris	Chelsea M.	1	9	E Thrush Drive		Meadows at Shawnee
Morris	Clarence William	4	606	North Street Ext		
Morris	Debra Lynn	1	9	E Thrush Drive		Meadows at Shawnee
Morris	Edward S.	1	9	E Thrush Drive		Meadows at Shawnee
Morris	James C.	3	103	Bridgeham Avenue		
Morris	Jerome S.	3	709	East Street		
Morris	John E.	2	34 ½	McCoy Street		
Morris	Judy C.	2	34 ½	McCoy Street		
Morris	William B.	2	211	S Walnut Street		
Morrow	Douglas E. Sr.	3	803	N Walnut Street		
Morrow	Linda Lee	3	803	N Walnut Street		
Morrow	Robert A.	3	42	General Torbert Drive		Sawmill Village
Morse	John R. Jr.	4	701	North Street Ext		
Moses	Charles	2	106	Lakelawn Drive		Lakelawn Estates
Moses	Dorothy McQuaid	2	106	Lakelawn Drive		Lakelawn Estates
Mosley	Michael L.	3	401	SE Front Street	A	
Mosley	Sharon Myrtie	1	312	Marshall Street		
Mott	Linda J.	3	31	General Torbert Drive		Sawmill Village
Moyer	Jonathon Robert	4	600	Truitt Avenue		
Moyer	Michael Wayne	2	507	Caulk Road		Lakelawn Estates
Muldrow	Benjamin McBride	2	16	W Clarke Avenue		
Muldrow	Leigh Ann (Nagy)	2	16	W Clarke Avenue		
Mullan	Gloria Jean	3	501	East Street		
Mullaney	Ann B.	1	1	W Thrush Drive		Meadows at Shawnee
Mullaney	Joseph A. II	1	1	W Thrush Drive		Meadows at Shawnee

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Mullarkey	Cynthia Anne	3	11	NE Fourth Street		
Mullican	Kevin Eugene	2	401	S Walnut Street		
Mumford	Clifton Daniel	2	723	New Street		
Mumford	Granville Jr.	4	24	NW Tenth Street		
Mumford	Katie Ann	2	723	New Street		
Mumford	Wilson A.	4	113	West Street	1	
Mumma	Patrick J.	1	141	Hickory Branch Court		Hearthstone Manor
Mundorf	Cathy Lynne	2	505	S Walnut Street		
Mundwiler	Christopher S.	3	214	N Walnut Street	B	
Murphy	Jean W.	2	815	New Street		
Murphy	Robert D.	1	5	Fairway Street		Orchard Hill
Murphy	Robert Lee	1	149	Aspen Court		Hearthstone Manor
Murphy	Rosa Marie	1	5	Fairway Street		Orchard Hill
Murphy	Thomas Dennis	2	400	S Washington Street		
Musgrove	David Brian	2	420	S Washington Street		
Myers	Geneva	1	133	Rock Ledge Court		Hearthstone Manor
Myers	Lynn Ethel	3	202	NE Eighth Street		
Myers	Patricia J.	4	27	Linstone Lane	8	Silver Lake Apartments
Nagy	Scott M.	2	2	W Clarke Avenue		
Nakhai	Behnam	1	12	Homestead Boulevard		Hearthstone Manor
Nash	Ann Marie C.	1	21	Fairway Street		Orchard Hill
Needles	Mary J.	1	112	Rock Ledge Court		Hearthstone Manor
Nelson	Gregory	4	304	Truitt Avenue		
Newhouse	Edna A.	3	110	Lovers Lane		
Newhouse	Theodore M.	3	110	Lovers Lane		
Nichols	James F. Jr	2	6	Donovan Street		
Nichols	John H. III	3	13	General Torbert Drive		Sawmill Village
Nichols	Judith A.	2	6	Donovan Street		
Nieli	Anthony Leonard	4	209	S Landing Drive		Knotts Landing
Nieli	Eileen Frances	4	209	S Landing Drive		Knotts Landing
Nieves	Carmen Lydia	3	101	NE Sixth Street		
Nixon	Russell Ray	3	201	NE Fourth Street		
Noble	George Henry	3	110	NE Second Street		
Noll	Daniel M.	1	300	Bridgeham Avenue		
Norman	Henry Jr.	4	430	North Street		
Norris	Richard David	1	171	Hickory Branch Court		Hearthstone Manor
Nosher	Gregory L.	4	203	S Landing Drive		Knotts Landing
Nosher	Rose Ann	4	203	S Landing Drive		Knotts Landing
Nosher	Stephanie R.	4	203	S Landing Drive		Knotts Landing
Nowakowski	Bernard J.	1	504	Matthew Circle		Matlinds Estates
Nowakowski	Brandi M.	1	504	Matthew Circle		Matlinds Estates
Nowell	James Robert Jr.	1	8	Crown Circle		Orchard Hill

City of Milford
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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Nowell	Melissa Ann	1	8	Crown Circle		Orchard Hill
Ntinou Kalesis	Diamanto	1	3	E Green Lane		Orchard Hill
O'Boyle	Charles M.	1	24	Kingston Terrace		Hearthstone Manor
O'Boyle	Lorraine M.	1	24	Kingston Terrace		Hearthstone Manor
Ochs	Anne M.	1	4	Pond Drive		Orchard Hill
Ochs	Bryan Jason	1	4	Pond Drive		Orchard Hill
O'Day	Beverly L.	3	919	SE Third Street		
O'Day	Louis S.	3	919	SE Third Street		
O'Donnell	Patricia Harrigan	2	206	Grier Lane		
Oechsler	Andrew James Stothers	2	127	School Place		
Oechsler	James A. Jr.	2	127	School Place		
Oechsler	Tracy D.	2	127	School Place		
Olivera	Dorothy M.	4	106	West Street		
Olivera	Pablo C.	4	106	West Street		
Olsen	Vincent Irving	2	213	S Walnut Street		
Olson	Kenneth C.	3	9	NE Fourth Street		
O'Neill	Deborah	2	612	Lakelawn Drive		Lakelawn Estates
O'Neill	James	2	612	Lakelawn Drive		Lakelawn Estates
O'Neill	Maire Blaise	2	612	Lakelawn Drive		Lakelawn Estates
O'Neill	Rebecca R.	2	612	Lakelawn Drive		Lakelawn Estates
O'Neill	Robert J.	2	612	Lakelawn Drive		Lakelawn Estates
Orkin	Ellan J.	2	16	Nelson Street		
Orta	Emanuel	2	305	S Washington Street		
Orta	Mary Ann	4	104	Bright Way		Brightway Commons
Osborne	Eugene M.	2	409	S Washington Street		
Osborne	William E.	3	806	SE Third Street		
Osterholm	Albert V.	2	508	Caulk Road		Lakelawn Estates
Ostroski	Lenora V.	1	3801C	S Sagamore Drive		Hearthstone Manor
Ostruska	Margot P.	1	806	Joshua Drive		Matlinds Estates
Ouge	Gladys M.	1	54	Meadow Lark Drive		Meadows at Shawnee
Ouge	Joseph M.	1	54	Meadow Lark Drive		Meadows at Shawnee
Owens	Clifford Stephan	1	7	W Bullrush Drive		Meadows at Shawnee
Owens	Kelly Marie	1	7	W Bullrush Drive		Meadows at Shawnee
Owens	Mary-Jo Christine	1	4502F	Summer Brook Way		Hearthstone Manor
Owens	William D.	1	4502F	Summer Brook Way		Hearthstone Manor
Owens Wood	Elizabeth Ann	2	443	Kings Highway		
Pakech	Christopher J.	4	103	Ginger Lane		Knotts Landing
Palermo	Joseph George	1	5	Misty Vale Court		Meadows at Shawnee
Palmer	Vernette	3	217	NE Fourth Street		
Palumbo	Joseph V. III	3	1019	SE Second Street		
Palumbo	Roberta M.	3	1019	SE Second Street		
Panico	Frank Michael	1	105	Marlin Court		Orchard Hill

City of Milford
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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Panico	Maureen Theresa	1	105	Marlin Court		Orchard Hill
Paradis	Mildred Anne	3	509	SE Second Street		
Paradis	Roger Emile	3	509	SE Second Street		
Paradis	Theresa J.	3	919	SE Second Street		
Parker	Beverly Ennis	1	105	Beaufort Lane		Orchard Hill
Parker	Bonnie S.	2	8	Delaware Avenue		
Parker	Bremante R.	2	1403	Mispillion Apartments		
Parker	Charles	3	119	N Walnut Street		
Parker	Claude McKinley Jr.	4	401	Truitt Avenue		
Parker	Della M	4	606	Truitt Avenue Ext		
Parker	Eva	4	401	Truitt Avenue		
Parker	Gordon Otis Jr.	1	105	Beaufort Lane		Orchard Hill
Parker	Keith Weston	2	8	Delaware Avenue		
Parker	Lillian M.	4	211	NW Second Street		
Parkhouse	Edward Patrick	1	322	Matthew Circle		Matlinds Estates
Parkhouse	Elise L.	1	322	Matthew Circle		Matlinds Estates
Parks	Dan Barnett	1	8	Little Pond Drive		Meadows at Shawnee
Parnell	Jennifer Ellen	3	113	Lovers Lane		
Parnell	Michael J.	3	113	Lovers Lane		
Parseghian	Edward C.	1	508	Matthew Circle		Matlinds Estates
Parson	Dorothy	1	303	Matthew Circle		Matlinds Estates
Parson	Titania S	1	200	Matthew Circle		Matlinds Estates
Parsons	Donna R.	3	216	McColley Street		
Parsons	Lisa K.	3	415	East Street		
Parsons	Ronald David	3	216	McColley Street		
Pase	Debbie Ann	1	9	Fairway Street		Orchard Hill
Pase	Kevin Bryan	1	9	Fairway Street		Orchard Hill
Pasmore	Tom Alan	2	446	Kings Highway		
Passwaters	David A. Jr.	2	436	Kings Highway		
Passwaters	Judith Ann	2	436	Kings Highway		
Passwaters	Samuel J. III	1	319	Columbia Street		
Passwaters	Thomas W.	2	600	NW Front Street		
Passwaters	Crystal R Roosa	4	913	Roosa Road		
Passwaters	David A. IV	4	913	Roosa Road		
Pastor	Patrick C.	2	18	W Clarke Avenue		
Patel	Chunilal M.	1	7	Misty Vale Court		Meadows at Shawnee
Patel	Hiren Chunilal	1	7	Misty Vale Court		Meadows at Shawnee
Patel	Mayuri Kanubhai	1	7	Misty Vale Court		Meadows at Shawnee
Patel	Vinay	1	3	Misty Vale Court		Meadows at Shawnee
Patillo	Janet	4	109	N Landing Drive		Knotts Landing
Patillo	Robert D. Sr.	4	109	N Landing Drive		Knotts Landing
Pattillo	Barbara Joslin	4	105	Alexa Court		Knotts Landing

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Payne	Ronald V.	4	403	Ashley Way		Milford Crossing
Payne	Stella A.	2	509	Kings Highway		
Pedersen	Gordon Keir	2	300	Lakeview Avenue		
Pedersen	Mildred K.	2	300	Lakeview Avenue		
Peel	Joseph Jason	2	408	Lakeview Avenue		
Peel	Lisa Ingram	2	408	Lakeview Avenue		
Peifer	Jacquelyn	1	5	Little Birch Drive		Hearthstone Manor
Pelen	Paul Thomas	2	2	Sunset Lane		
Pena	Ray	3	601	SE Second Street		
Penland	Troy M.	4	303	Truitt Avenue		
Pensel	Charles H. Jr.	4	237	S Landing Drive		Knotts Landing
Pensel	Virginia A.	4	237	S Landing Drive		Knotts Landing
Perdue	David P.	1	19	Fairway Court		Orchard Hill
Perdue	Deborah L.	1	19	Fairway Court		Orchard Hill
Perez	Danny Garcia	3	29	General Torbert Drive		Sawmill Village
Perez	Janet A.	3	307	Carlisle Lane		
Perez	Lissette Ramona	3	29	General Torbert Drive		Sawmill Village
Perez	Roberto	3	307	Carlisle Lane		
Perry	Edith J.	1	8	Royal Drive		Orchard Hill
Perry	Roger Gayle	1	8	Royal Drive		Orchard Hill
Persia	Patricia Charm	2	129	School Place		
Peterman	Barry L	2	106	Montgomery Street		
Peterman	Barry L	3	409	SE Front Street		
Peterman	Barry L	4	105	NW Fourth Street		
Peterman	Edith Jean	1	314	McColley Street		
Peterman	Mike	3	813	N Washington Street		
Peters	Michelle A.	1	611	S Washington Street		
Peterson	Alger L.	1	614	Cedarwood Avenue		Marshall Commons
Peterson	Elizabeth C.	1	614	Cedarwood Avenue		Marshall Commons
Petranto	Frank S.	1	6	E Bullrush Drive		Meadows at Shawnee
Petranto	Laura	1	6	E Bullrush Drive		Meadows at Shawnee
Phalen	Paul S.	2	507	Reed Road		Lakelawn Estates
Phelps	Gloria Jean	1	11	Hickory Branch Lane		Hearthstone Manor
Phelps	Timothy Edwin Sr.	1	11	Hickory Branch Lane		Hearthstone Manor
Phillips	James	3	10	Salevan Place		
Phillips	Joseph A.	2	2	Causey Avenue		
Phillips	Vernon Joseph Sr.	1	500	Maple Street		Marshall Commons
Philmore	David W	4	407	Ashley Way		Milford Crossing
Philmore	Elsie M.	4	407	Ashley Way		Milford Crossing
Phipps	Ty D.	2	405	S Washington Street		
Piazza	Merle R.	4	108	Starland Way		Knotts Landing
Pickrell	David Lee	2	8	S Walnut Street		

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Pierce	Barbara C.	3	408	Pierce Street		
Pierce	Thomas S. Jr.	2	38	N Walnut Street		
Pileggi	Martha V.	3	607	SE Second Street		
Pilkington	Regina Marie	1	153	Rock Ledge Court		Hearthstone Manor
Pingue	Elizabeth A.	1	305	Richard Street		
Pink	Gertrude	2	109	S Church Street		
Piper	Lorraine R.	1	21	W Bullrush Drive		Meadows at Shawnee
Piper	Stephen M.	1	21	W Bullrush Drive		Meadows at Shawnee
Plack	Kathryn Jean	1	1000	Lemuel Street		
Plank	Kenneth P	1	23	Meadow Lark Drive		Meadows at Shawnee
Plank	Sharon Rhoades	1	23	Meadow Lark Drive		Meadows at Shawnee
Pletcher	Marianina S.	2	428	S Walnut Street		
Pletcher	Sara Marin	2	8	Elizabeth Street		
Plummer	Carlton L.	2	802	Seabury Avenue		
Plummer	Shirley E.	2	802	Seabury Avenue		
Polite	Jo H.	3	5	General Torbert Drive		Sawmill Village
Polite	Richard L.	3	5	General Torbert Drive		Sawmill Village
Polk	Kristyn Ilene	2	303	S Washington Street		
Polk	Rebecca S.	2	303	S Washington Street		
Poole	Beverly A.	1	38	Clearview Drive		Hearthstone Manor
Poole	Joseph John	1	38	Clearview Drive		Hearthstone Manor
Pope	Jerrie R.	4	919	Roosa Road		
Porter	Christine Ann	3	509	SE Second Street		
Porter	Hilda Jane	1	11	Little Pond Drive		Meadows at Shawnee
Powell	Carol Ann	1	310	Fisher Avenue		
Powell	Derek J.	3	505	SE Front Street		
Powell	Dwayne Edward	3	114	East Street		
Powell	Peggy Ann	1	4301D	Summer Brook Way		Hearthstone Manor
Powell	William M. Sr.	1	4301D	Summer Brook Way		Hearthstone Manor
Powers	Betty J.	1	14	E Green Lane		Orchard Hill
Powers	Robert D.	1	14	E Green Lane		Orchard Hill
Pressman	Martin Daniel	4	212	S Landing Drive		Knotts Landing
Prettyman	Martha M.	4	510	Parson Thorne Apartments		
Price	Carolyn A.	2	611	Seabury Avenue		
Price	Elaine C.	2	613	Seabury Avenue		
Price	John D.	2	611	Seabury Avenue		
Price	Larry Lee	2	613	Seabury Avenue		
Primos	Andrea L.	4	144	Church Hill Road		
Primos	Noel Eason	4	144	Church Hill Road		
Prince	Richard Alfred	1	3	Windy Drive		Meadows at Shawnee
Prince	Veronica	1	3	Windy Drive		Meadows at Shawnee
Priola	Mike A.	1	3801D	S Sagamore Drive		Hearthstone Manor

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Pritchett	Vickie L.	1	107	Hickory Branch Court		Hearthstone Manor
Proctor	Wanda Lucille	1	133	W Green Lane		Orchard Hill
Progar	Gary A.	2	11	Causey Avenue		
Progar	Leslie A. W.	2	11	Causey Avenue		
Prouse	Donald M. Jr.	4	7	Archers Way		Archers Knoll
Prouse	Judith A.	1	311	Matthew Circle		Matlinds Estates
Ptak	Susanne M	1	157	Rock Ledge Court		Hearthstone Manor
Purcell	James A.	2	102	Kings Highway		
Pusey	Cheryl	3	800	SE Second Street		
Pusey	Eric Matthew	3	800	SE Second Street		
Pusey	Larry	3	800	SE Second Street		
Quent	Jeanne L.	1	104	Matthew Circle		Matlinds Estates
Quent	Ronad Kenneth	1	104	Matthew Circle		Matlinds Estates
Quetel	Joseph Thomas Victor	2	318	Hall Place		
Quetel	Melena Elizabeth	2	318	Hall Place		
Rambo	Eric M.	2	23	Elizabeth Street		
Rambo	Tina R.	2	23	Elizabeth Street		
Ramey	Melissa Leigh	3	19596	Drummond Drive		Fork Landing
Ramos	Imelda T.	1	19	E Bullrush Drive		Meadows at Shawnee
Ramos	Isaura	4	601	North Street Ext		
Ramos	Louis	4	601	North Street Ext		
Ramos	Tony	4	601	North Street Ext		
Ramsey	Shawn Michael	2	414	Evergreen Circle		Lakelawn Estates
Randolph	Robert A	1	116	Rock Ledge Court		Hearthstone Manor
Randolph	Valerie P	1	116	Rock Ledge Court		Hearthstone Manor
Ranney	Roberta A.	1	640	Beechwood Avenue		Marshall Commons
Rasberry	Joseph T.	1	29	E Green Lane		Orchard Hill
Rasberry	Mary Christine	1	29	E Green Lane		Orchard Hill
Rash	Steven C.	2	514	NW Front Street	4	
Rathbun	Leslie Ann	4	1036	N Walnut Street		Travelers Inn
Rawl	Mary Jane	1	17	E Green Lane		Orchard Hill
Rawl	Michael John	1	17	E Green Lane		Orchard Hill
Ray	Patricia Ann	1	218	Columbia Street		
Raymond	Melinda	2	219	S Walnut Street		
Rayne	Martha M.	1	2901B	Heather Dr		Hearthstone Manor
Ream	Carolyn	1	3501D	S Sagamore Drive		Hearthstone Manor
Ream	Thomas Eugene	1	3501D	S Sagamore Drive		Hearthstone Manor
Redden	Lang G	2	107	S Washington Street		
Redden	Mark Allan	2	107	S Washington Street		
Redden	Thomas H.	2	429	S Walnut Street		
Reed	Carolyn C.	2	307	Woodland Drive		Lakelawn Estates
Reed	Christine Marie	2	607	S Walnut Street		

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Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Reed	Florence H.	2	103	Kings Highway		
Reed	Helene	2	405	Marvel Road		Lakelawn Estates
Reed	Jacqueline Kemp	4	210	Parson Thorne Apartments		
Reed	Marcia R.	2	8	S Walnut Street		
Reedy	Myrtle H.	3	37	Fisher Avenue		
Reichelt	Shirley P.	4	5	Linstone Lane	422	Silver Lake Apartments
Reid	Douglas Eugene	1	108	W Green Lane		Orchard Hill
Reid	Paralyn	1	108	W Green Lane		Orchard Hill
Reilly	James J.	1	13	E Green Lane		Orchard Hill
Reilly	Karen M.	2	904	Lakeview Avenue		
Reilly	Peggy C.	1	13	E Green Lane		Orchard Hill
Renk	Dorothy P.	4	105	Ginger Lane		Knotts Landing
Renk	Ronald E.	4	105	Ginger Lane		Knotts Landing
Rescigno-Pastor	Patricia Joan	2	18	W Clarke Avenue		
Retzlaff	Erik Franz	2	101	Lakelawn Drive		Lakelawn Estates
Reyes	Dean G.	2	105	Pine Street		
Reynolds	Beverly Jean	1	111	Rock Ledge Court		Hearthstone Manor
Reynolds	Charlie J.	4	107	Allen Way		Brightway Commons
Reynolds	David Howard	1	111	Rock Ledge Court		Hearthstone Manor
Reynolds	Gertrude M.	2	18	W Clarke Avenue		
Reynolds	Ralph C.	3	6	General Torbert Drive		Sawmill Village
Reynolds	Sandra L.	2	616	NW Front Street		
Reynolds	Suzanne D.	3	6	General Torbert Drive		Sawmill Village
Reynolds	Toshi D.	4	1	James Drive		
Rhodes	Jerry W.	3	206	Marshall Street		
Rhodes	Linda	3	7	Marshall Street		
Rhodes	Rebecca T.	3	206	Marshall Street		
Rhodes	Velma M.	4	5	Linstone Lane	24	Silver Lake Apartments
Richardson	Brynn L.	3	805	SE Second Street		
Richardson	Clyde N.	1	123	W Green Lane		Orchard Hill
Richardson	Dianne J.	1	123	W Green Lane		Orchard Hill
Richardson	Thomas L.	4	514	N Church Street	A	
Richmond	Barbara J.	3	8	Governor Tharp Court		Sawmill Village
Riecke	Carolyn S.	4	801	N DuPont Boulevard		
Riehl	William	1	108	SE Fourth Street		
Rienzi	Dorothea H.	1	320	Matthew Circle		Matlinds Estates
Rienzi	Leonard J.	1	320	Matthew Circle		Matlinds Estates
Rini	Beverly A.	4	119	Ginger Lane		Knotts Landing
Rini	Charles	4	119	Ginger Lane		Knotts Landing
Rinker	Connie L.	1	8	Fairway Street		Orchard Hill
Rinker	William Elwood	1	8	Fairway Street		Orchard Hill
Ripley	Guy Joel	3	108	Charles Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Rittershofer	Priscilla J.	1	20	Kingston Terrace		Hearthstone Manor
Rivera	Michael R.	3	200	N Walnut Street		
Rivera	Michael Robert	3	119	N Walnut Street		
Rivera-Moore	Gloria J	1	312	Marshall Street		
Riviello	Gerald Joseph	1	705	Beechwood Court		Marshall Commons
Rizzo	Pamela J.	3	19644	Drummond Drive		Fork Landing
Rizzo	Ronald	3	19644	Drummond Drive		Fork Landing
Roark	Donald Raymone	1	141	Hickory Branch Court		Hearthstone Manor
Roark	Ruth Virginia	1	141	Hickory Branch Court		Hearthstone Manor
Robbins	Graham G.	1	19	E Green Lane		Orchard Hill
Roberts	Constance Marie	1	101	Marlin Court		Orchard Hill
Roberts	Harold Everett	2	409	Lakeview Avenue		
Roberts	Janet S.	4	1024	N Walnut Street		
Roberts	Kathleen L.	1	6	Big Pond Drive		Meadows at Shawnee
Roberts	Mary L.	2	409	Lakeview Avenue		
Roberts	Richard	1	12	Kingston Terrace		Hearthstone Manor
Roberts	Richie D.	4	1024	N Walnut Street		
Roberts	Wayne H.	1	6	Big Pond Drive		Meadows at Shawnee
Roberts	William D.	1	101	Marlin Court		Orchard Hill
Robertson	Lilly E.	3	803	SE Front Street		
Robinson	Phyllis	1	314	Bridgeham Avenue		
Robinson	Verie L.	4	207	NW Fifth Street		
Rockwell	Nancy M.	3	507	N Washington Street		
Rodenberg	Robert Thomas	1	6	Briar Court		Meadows at Shawnee
Rodenberg	Wanda L.	1	6	Briar Court		Meadows at Shawnee
Rodgers	Douglas Edward	1	8	Briar Court		Meadows at Shawnee
Rodgers	Thelma J.	1	8	Briar Court		Meadows at Shawnee
Rodriguez	Alicia S.	3	106	Charles Street		
Rodriguez	Ernesto Jr.	3	106	Charles Street		
Rodriguez	Juan	2	26	NW Front Street		
Rogers	Ann B.	2	806	S Walnut Street		
Rogers	Charles J.	1	105	E Clarke Avenue		
Rogers	Dennis A.	1	311	Marshall Street		
Rogers	Grace D.	4	126	NW Second Street		
Rogers	Jessica Rae	2	806	S Walnut Street		
Rogers	Joseph R.	2	504	Caulk Road		Lakelawn Estates
Rogers	Joseph R. II	2	806	S Walnut Street		
Rogers	Lucille E.	1	105	E Clarke Avenue		
Rogers	Molly Ann	2	808	New Street		
Rogers	Ruth D.	2	504	Caulk Road		Lakelawn Estates
Romano	Alison L.	1	7	Costabella Lane		Orchard Hill
Romano	Cheryl Susan	1	21	E Bullrush Drive		Meadows at Shawnee

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Romano	Dominic	1	7	Costabella Lane		Orchard Hill
Romano	Joseph Sr	1	21	E Bullrush Drive		Meadows at Shawnee
Rooks	Frances	4	500	N Church Street		
Roosa	Glenda Kay	4	903	Roosa Road		
Roosa	J. Heyman III	4	903	Roosa Road		
Roosa	Mildred S.	4	917	Roosa Road		
Rosembert	Peterson	3	57	General Torbert Drive		Sawmill Village
Rosengren	Emily K.	1	630	Beechwood Avenue		Marshall Commons
Rosenquist	Glen T.	1	300	Charles Street		
Rosenquist	Shelby E.	1	300	Charles Street		
Ross	James E.	4	411	North Street		
Ross	Oneida S.	1	3403J	S Sagamore Drive		Hearthstone Manor
Ross	Robert L.	1	3403J	S Sagamore Drive		Hearthstone Manor
Rossi	Catherine	1	3502H	S Sagamore Drive		Hearthstone Manor
Rossi Jr	Eugene B.	1	3502H	S Sagamore Drive		Hearthstone Manor
Rottman	Lewis DeSimone	1	23	W Bullrush Drive		Meadows at Shawnee
Rowe	Robert Landon	2	603	Marvel Road		Lakelawn Estates
Roxby	Arthur T. III	4	6	NW Salevan Place		
Ruffin	Marcealeate S.	4	515	Truitt Avenue		
Ruhl	Nancy Elayne	1	5	Little Pond Drive		Meadows at Shawnee
Ruiz	Christopher Michael	4	105	N Landing Drive		Knotts Landing
Ruiz	Gervasio Jr.	4	105	N Landing Drive		Knotts Landing
Rumley	I. Helen	4	5	Linstone Lane	419	Silver Lake Apartments
Rupp	Hildegard S.	1	143	Aspen Court		Hearthstone Manor
Russ	Danesha Shakia	4	446	North Street		
Russ	Denice E.	3	54	Shore Lane		Lighthouse Estates
Russ	Kathryn Kimmel	2	300	Lakelawn Drive		Lakelawn Estates
Russell	Bonnie D.	2	321	Hall Place		
Russo	Joan K.	3	513	N Washington Street		
Ryan	Danahey	1	163	Barksdale Court		Hearthstone Manor
Ryan	Patricia N.	1	163	Barksdale Court		Hearthstone Manor
Sabia	Eleanor R.	1	155	Barksdale Court		Hearthstone Manor
Sabia	Mauro A.	1	155	Barksdale Court		Hearthstone Manor
Sacks	Lewis W.	1	9	W Thrush Drive		Meadows at Shawnee
Saldana	Luis A.	4	306	West Street		
Salevan	David A.	2	816	New Street		
Sames	Carolyn J	2	7	Sunset Lane		
Sames	Richard C.	2	7	Sunset Lane		
Sammons	Cynthia Alice	2	321	S Walnut Street		
Sammons	John H.Jr.	2	321	S Walnut Street		
Sanburn-Rogers	Julia E.	4	308	Ashley Way		Milford Crossing
Sanchez	Eva	1	403	McColley Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Sandifer	Charlene Kay	3	914	SE Second Street		
Sapp	Jane Savin	3	204	McColley Street		
Sapp	John Foster	3	204	McColley Street		
Sarro	Regina	3	26	Cedar Beach Road		
Sauls	Antoinette Yvonne	1	2	E Thrush Drive		Meadows at Shawnee
Sauls	David R.	1	2	E Thrush Drive		Meadows at Shawnee
Savage	Cynthia L.	3	403	N Washington Street		
Savage	Harry R.	3	403	N Washington Street		
Savage	Samuel Robert	3	403	N Washington Street		
Savage	Sara Louise	1	125	Hickory Branch Court		Hearthstone Manor
Savage	Stephanie Marie	3	403	N Washington Street		
Saxon	Dana M.	3	611	SE Second Street		
Saxon	Nancy Harper	4	113	NW Front Street		
Saxon	Warren R.	3	611	SE Second Street		
Sayer	Charlotte Anne	3	203	SE Front Street		
Sayer	Priscilla Jane	3	203	SE Front Street		
Sbona	Georgiann	1	19	Homestead Boulevard		Hearthstone Manor
Sbona	Samuel Ralph	1	19	Homestead Boulevard		Hearthstone Manor
Schaap	Lucinda	3	1012	SE Second Street		
Schaap	Robert	3	1012	SE Second Street		
Schauer	Lloyd John	1	14	Big Pond Drive		Meadows at Shawnee
Scheetz	Timothy Edward	1	3601A	N Sagamore Drive		Hearthstone Manor
Schiedenhelm	Betty Lou	4	140	N Landing Drive		Knotts Landing
Schlabach	Jay E.	2	303	Woodland Drive		Lakelawn Estates
Schleigh	David William	1	2	W Thrush Drive		Meadows at Shawnee
Schleigh	Mary Anne	1	2	W Thrush Drive		Meadows at Shawnee
Schmeiser	JoAnne I.	1	2901A	Heather Drive		Hearthstone Manor
Schmidt	Carl R. Jr.	1	4	Clearview Drive		Hearthstone Manor
Schmidt	Eric G.	2	416	S Washington Street		
Schmidt	Gregory Karl	2	210	SE Front Street		
Schmidt	Karl Frederick	2	210	SE Front Street		
Schmidt	Lonnie Richard	2	434	Kings Highway		
Schmidt	Olivia L.	1	4	Clearview Drive		Hearthstone Manor
Schmidt	Peggy Ann	2	210	SE Front Street		
Schofield	Cindy L.	1	300	Matthew Circle		Matlinds Estates
Schrader	Tiffany Joy Mast	1	36	Meadow Lark Drive		Meadows at Shawnee
Scott	Aleathea K.	4	454	North Street		
Scott	Angela Sherrod	1	18	Meadow Lark Drive		Meadows at Shawnee
Scott	Gloria A.	4	110	NW Third Street		
Scott	John C.	3	280	N Rehoboth Boulevard		
Scott	Penny Jo	1	2901B	Heather Dr		Hearthstone Manor
Scott	Virginia B.	3	280	N Rehoboth Boulevard		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Scotton	Carol V.	3	905	SE Front Street		
Scotton	Leslie II	3	905	SE Front Street		
Sender	Carole Louise	1	3601D	S Sagamore Drive		Hearthstone Manor
Sender	John Bernard Jr.	1	3601D	S Sagamore Drive		Hearthstone Manor
Sentman	Douglas B.	2	104	Pine Street		
Session	Linda	4	114	Allen Way	21	Brightway Commons
Seth	Lolita C.	4	108	Allen Way	11	Brightway Commons
Shafer	Harriett W.	4	135	N Landing Drive		Knotts Landing
Shafer	Julian R.	4	135	N Landing Drive		Knotts Landing
Shaffer	Scott E.	4	806	Parson Thorne Apartments		
Shaffer	Sherry A.	1	12	W Bullrush Drive		Meadows at Shawnee
Shah	Bindesh B.	1	1	W Bullrush Drive		Meadows at Shawnee
Shah	Priti	1	1	W Bullrush Drive		Meadows at Shawnee
Sharp	Brenda Lee	3	838	NE Front Street		
Sharp	Delema E.	1	149	Hickory Branch Court		Hearthstone Manor
Sharp	Donna Marie	3	844	NE Front Street		
Sharp	Eugene M. III	2	706	N Shore Drive		North Shores
Sharp	Kelly Lynn	1	617	Beechwood Avenue		Marshall Commons
Sharp	Marvin C.	3	844	NE Front Street		
Sharp	Mary Ann	4	9	Rogers Drive		
Sharp	Michael S.	1	617	Beechwood Avenue		Marshall Commons
Sharp	Rebecca L.	2	706	N Shore Drive		North Shores
Sharp	Regina A.	4	108	Allen Way	21	Brightway Commons
Sharp	Ronald H.	1	305	Marshall Street		
Sharp	Sheila M.	1	305	Marshall Street		
Sharp	William H. Jr.	4	606	Truitt Avenue Ext		
Shea	Elizabeth H.	2	10	Delaware Avenue		
Shea	Gary D.	2	12	Delaware Avenue		
Shea	Kathy J.	1	304	Montgomery Street		
Shea	Michael J.	1	304	Montgomery Street		
Sheaffer	John B.	2	432	Kings Highway		
Sheaffer	Mary Lou	2	432	Kings Highway		
Shear	Crystal	2	1	Sunset Lane		
Shear	Marilyn C	4	207	Ashley Way		Milford Crossing
Shearer	Jeanette Theresa	4	502	Parson Thorne Apartments		
Shearer	Raymond Lee	4	502	Parson Thorne Apartments		
Sheffy	Virginia L	3	308	S Rehoboth Boulevard		
Shelborne	Demarcus Daniel	3	10	NE Salevan Place		
Shelton	Geraldine E.	4	109	Valley Drive		Valley Run Apts
Sherwood	Carol C.	2	13	E Clarke Avenue		
Sherwood	Nancy Gaye	3	805	N Walnut Street		
Sherwood	Richard M.	2	13	E Clarke Avenue		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Shields	Columbus N.	1	5	E Green Lane		Orchard Hill
Shields	John William	1	13	Big Pond Drive		Meadows at Shawnee
Shifflett	Willis R.	1	804	Joshua Drive		Matlinds Estates
Shimizu	Helena Bernice	1	39	Little Birch Drive		Hearthstone Manor
Shinholt	Hazel A.	1	4	W Bullrush Drive		Meadows at Shawnee
Shinholt	Robert	1	4	W Bullrush Drive		Meadows at Shawnee
Shockley	Brandi Lynn	3	210	NE Fourth Street		
Shockley	David A.	3	614	SE Front Street		
Shockley	Debbie A.	3	210	NE Fourth Street		
Shockley	John D.	3	210	NE Fourth Street		
Shockley	Myrna S.	3	614	SE Front Street		
Shockley	Tricia A.	1	2903I	Heather Drive		Hearthstone Manor
Short	Scott Douglas	2	7	Nelson Street		
Short	Thomas C.	3	42	Fisher Avenue		
Shorter	Thelma R.	3	509	Carlisle Lane		
Showell	Gregory Levaunt Sr.	3	20	NE Tenth Street		
Showell	Linda J. Sharpe	3	20	NE Tenth Street		
Shreeve	Anne Ridgely	1	4403J	Fullerton Court		Hearthstone Manor
Shunk	Taylor Catherine	1	8	W Thrush Drive		Meadows at Shawnee
Shupard	Howard D. Jr.	3	405	N Washington Street		
Shupard	Rosanne T.	3	405	N Washington Street		
Shupe	Bryan William	1	12	W Bullrush Drive		Meadows at Shawnee
Shupe	Sheridan Allayne	1	805	Joshua Drive		Matlinds Estates
Shupe	William J.	1	805	Joshua Drive		Matlinds Estates
Silbereisen	Albert J.	1	301	Marshall Street		
Simon	Edward L.	1	117	Barksdale Court		Hearthstone Manor
Simon	Patrica A.	1	117	Barksdale Court		Hearthstone Manor
Simpson	Deborah K.	2	6	W Clarke Avenue		
Simpson	F. Gary	2	6	W Clarke Avenue		
Simpson	Olive P.	2	1000	S Walnut Street		
Siok	Joseph F.	2	404	S Walnut Street		
Siok	Leslie G.	2	404	S Walnut Street		
Skinner	Crystal Renee	3	907	N Walnut Street		
Skinner	Danny M.	3	907	N Walnut Street		
Skinner	Kathryn M.	3	907	N Walnut Street		
Sleva	Jodie H.	3	801	N Walnut Street		
Sleva	Morgan T.	3	801	N Walnut Street		
Sloan	Nancy Banta	1	21	Little Birch Drive		Hearthstone Manor
Sloan	William Douglas	1	21	Little Birch Drive		Hearthstone Manor
Slonacher	Frances A.	3	1020	SE Second Street		
Smith	Ann H.	2	407	S Walnut Street		
Smith	Bernice	2	615	Seabury Avenue		

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Smith	Bobby M.	4	15	Rogers Drive		
Smith	Borden E. II	4	203	Truitt Avenue		
Smith	Connie R.	1	800	Joshua Drive		Matlinds Estates
Smith	Daniel Alan	2	615	Seabury Avenue		
Smith	Debra Lynn	3	23	NW Second Street		
Smith	Dorothy S.	4	709	Truitt Avenue Ext		
Smith	Frank M.	2	407	S Walnut Street		
Smith	Gary W.	3	211	SE Front Street		
Smith	Iva A.	2	111	School Place		
Smith	Jeannine Marilyn	4	239	S Landing Drive		Knotts Landing
Smith	Jeremiah David	2	211	S Walnut Street		
Smith	Jessica Lynn	4	10	Rogers Drive		
Smith	Mary A.	2	505	Caulk Road		Lakelawn Estates
Smith	Maude	3	109	McColley Street		
Smith	Melvin E.	4	709	Truitt Avenue Ext		
Smith	Mina J.	2	921	S DuPont Boulevard		
Smith	Neil R.	2	111	School Place		
Smith	Norman T.	2	921	S DuPont Boulevard		
Smith	Paul Phillip	1	18	Meadow Lark Drive		Meadows at Shawnee
Smith	Robert D. III	2	100	Lakelawn Drive		Lakelawn Estates
Smith	Robert Raymond	2	207	S Walnut Street		
Smith	Robert Wayne	1	800	Joshua Drive		Matlinds Estates
Smith	Rosie L.	4	1	Lucia Circle		
Smith	Roy L.	2	505	Caulk Road		Lakelawn Estates
Smith	Shelton Lee Sr.	4	1	Lucia Circle		
Smith	Stephanie S.	2	100	Lakelawn Drive		Lakelawn Estates
Smith	Thelton T.	4	114	Silver Lake Estates		
Smith	Verda M.	3	211	SE Front Street		
Smith	Wayne E.	2	615	S DuPont Boulevard		
Smith-Merrell	Victoria	2	506	Mispillion Apartments		
Snead	Natasha C.	1	511	McColley Street		
Snook	Iver Vincent	1	107	Marlin Court		Orchard Hill
Snook	Linda G.	1	107	Marlin Court		Orchard Hill
Snyder	Donna J.	3	54	General Torbert Drive		Sawmill Village
Sobolewski	Leonard S.	4	109	Ginger Lane		Knotts Landing
Sobolewski	Margaret B.	4	109	Ginger Lane		Knotts Landing
Socketrider	David W.	1	5	Briar Court		
Socketrider	Linda Dianne	1	5	Briar Court		Meadows at Shawnee
Soden	Matthew A.	2	5	Nelson Street		Meadows at Shawnee
Soden	Penny D.	2	5	Nelson Street		
Sodergren	C. Robert	3	212	N Walnut Street		
Sorden	Violet Elaine	4	505	Truitt Avenue		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Sottile	John V.	1	13	Little Birch Drive		Hearthstone Manor
Southard	Alan R.	2	502	NW Front Street	A	
Southard	Jeanette A.	3	201	Marshall Street		
Spady	David M.	4	104	Bright Way		Brightway Commons
Spady	Marvin D.	4	104	Bright Way		Brightway Commons
Spain	Dorothy R.	3	620	N Washington Street		
Spence	Mary K.	4	607	North Street Ext		
Spence	Wayne Edward	4	607	North Street Ext		
Spigone	Elizabeth Anne	3	30	General Torbert Drive		Sawmill Village
Spigone	Joseph Edmund	3	30	General Torbert Drive		Sawmill Village
Spillane	Michael David	1	20	Clearview Drive		Hearthstone Manor
Spivey	Arlene Y.	4	108	Bright Way		Brightway Commons
Spurio	Ernest J. Jr.	1	3001D	S Heather Drive		Hearthstone Manor
Spurio	Joan C.	1	3001D	S Heather Drive		Hearthstone Manor
Staats	Kathryn B.	1	202	Matthew Circle		Matlinds Estates
Staats	Russell T.	1	202	Matthew Circle		Matlinds Estates
Stack	Juanita Kay Bedo	3	207	Charles Street		
Stack	Kenneth A	3	207	Charles Street		
Stamat	Spyro T.	4	108	N Church Street		
Stanberry	Delisa	3	65	General Torbert Drive		Sawmill Village
Stanton-Hinex	Angela R.	1	26	Meadow Lark Drive		Meadows at Shawnee
Starkey	Kathleen S.	2	13	W Clarke Avenue		
Starkey	Robert G.	2	13	W Clarke Avenue		
Starling	James O. Sr.	4	713	Truitt Avenue Ext		
Starling	Jeanel D.	4	713	Truitt Avenue Ext		
Staton	Cecil Oulds	1	10	Misty Vale Court		Meadows at Shawnee
Stayton	Lisa Dawn	2	14	Pennsylvania Avenue		
Stayton	Nicholas N	3	210	East Street		
Steele	Barbara J.	2	402	S Washington Street		
Steele	Doris I.	4	600	Parson Thorne Apartments		
Steele	Paul	2	402	S Washington Street		
Steiner	Anthony L.	1	21	Meadow Lark Drive		Meadows at Shawnee
Steiner	Donald L.	2	7	Lakelawn Drive		Lakelawn Estates
Steiner	Linda J.	1	21	Meadow Lark Drive		Meadows at Shawnee
Steiner	Marie	2	7	Lakelawn Drive		Lakelawn Estates
Steinhauer	Karen L.	4	124	N Landing Drive		Knotts Landing
Steinhauer	Robert A.	4	124	N Landing Drive		Knotts Landing
Stenaka	Joan D.	1	629	Beechwood Avenue		Marshall Commons
Stenaka	Leo J.	1	629	Beechwood Avenue		Marshall Commons
Stetson	Kathryn A.	1	147	Hickory Branch Court		Hearthstone Manor
Stevens	Andrew Vanzant	3	21	General Torbert Drive		Sawmill Village
Stevens	Angela	1	601	McColley Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Stevens	Charlene E.	4	119	Bright Way		Brightway Commons
Stevens	Cynthia Ann	4	119	Bright Way		Brightway Commons
Stevenson	Gloria E.	4	404	W Moyer Circle	A	Milford Crossing
Stradford	Jeffrey P.	4	609	North Street Ext		
Strahle	Albert	4	500	Parson Thorne Apartments		
Strahle	Dorothy G.	4	500	Parson Thorne Apartments		
Straub	Ruth B.	2	103	Pine Street		
Strong	Gregory	1	5	E Thrush Drive		Meadows at Shawnee
Stuchlik	M. Susan	4	203	Parson Thorne Apartments		
Studer Baer	Barbara Anne	3	19593	Drummond Drive		Fork Landing
Studte	Lois	1	402	Charles Street		
Studte	Michael E.	1	402	Charles Street		
Studte Jr.	Walter H.	1	402	Charles Street		
Stutzman	James Lynn	2	111	School Place		
Stutzman	Norma Jean	2	111	School Place		
Sudler	Marion A.	4	700	Truitt Avenue Ext		
Sullivan	Frances A.	4	5	Truitt Avenue		
Sullivan	Lawrence	1	6	E Thrush Drive		Meadows at Shawnee
Sullivan	Susan C.	1	6	E Thrush Drive		Meadows at Shawnee
Swain	Dana Suzanne	3	35	Fisher Avenue		
Swain	G. Walter	3	5899	S Rehoboth Boulevard		
Swain	Janet R.	3	5899	S Rehoboth Boulevard		
Swain	Scott Thomas	3	35	Fisher Avenue		
Swain	Susan Kaye	3	35	Fisher Avenue		
Swank	Carol L	1	11	Homestead Boulevard		Hearthstone Manor
Swank	William C. Jr	1	11	Homestead Boulevard		Hearthstone Manor
Swanson	Wilbur M.	3	218	N Walnut Street		
Sweeney	Edward J.	1	9	Misty Vale Court		Meadows at Shawnee
Sweeney	Elizabeth A.	1	9	Misty Vale Court		Meadows at Shawnee
Sylvanus	Ross Mills III	1	7	W Thrush Drive		Meadows at Shawnee
Sylvester	Marianne W	1	4201A	Summer Brook Way		Hearthstone Manor
Symons	Helga	1	202	Beaufort Lane		Orchard Hill
Symons	Irwin Jay	1	202	Beaufort Lane		Orchard Hill
Szczesay	Eileen J.	4	122	Ginger Lane		Knotts Landing
Szczesay	Richard Joseph	4	122	Ginger Lane		Knotts Landing
Taylor	Mary I.	4		Silver Lake Estates		
Taylor	Michael K.	4	449	N Church Street		
Taylor	Pamella A.	4	449	N Church Street		
Teagle	Walter	4	409 ½	N Church Street		
Temparali	Charles J.	1	2	E Green Lane		Orchard Hill
Temparali	Patricia Phyllis	1	2	E Green Lane		Orchard Hill
Teyker	Janet Kelley	1	808	SE Fifth Street		

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Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Teyker	Rovert H	1	808	SE Fifth Street		
Thawley	Beverly A.	3	6	NE Sixth Street		
Thien	Stephen S	1	141	W Green Lane		Orchard Hill
Thigpen	William Christopher	1	6383	Tabard Drive		Watergate
Thomas	Cynthia P.	2	609	Lakelawn Drive		Lakelawn Estates
Thomas	Elizabeth S.	1	310	Charles Street		
Thomas	Renate	2	609	Lakelawn Drive		Lakelawn Estates
Thompson	Charles P.	2	414	NW Front Street	B	
Thompson	Gary L.	1	34	Clearview Drive		Hearthstone Manor
Thompson	Patricia C.	1	504	Maple Street		
Thompson	Winford	4	107	Allen Way	22	Brightway Commons
Thoms	Paula A.	1	601	Maple Street		Marshall Commons
Tisdell	Kevin C.	3	54	General Torbert Drive		Sawmill Village
Tjaden	Carol Ann	1	14	Kingston Terrace		Hearthstone Manor
Tkach	James G.	1	10	Little Pond Drive		Meadows at Shawnee
Tkach	Sandra Lee	1	10	Little Pond Drive		Meadows at Shawnee
Tobin	Anna Patricia	4	201	Parson Thorne Apartments		
Tobler	Ruth Ann	1	3501C	S Sagamore Drive		Hearthstone Manor
Todd	Joyce R.	3	3	Governor Watson Court		Sawmill Village
Todd	Michael L.	3	3	Governor Watson Court		Sawmill Village
Tonwe	Tutse D.	3	1011	N Walnut Street		
Torbert	Carol A.	4	706	North Street Ext		
Torbert	George E.	4	706	North Street Ext		
Torres	Maribel F.	2	21	McColley Street		
Tosques	Vicki A.	2	5	Causey Avenue	4	
Tough	Donald M.	2	511	S Walnut Street		
Towers	Howard Chester	1	42	Clearview Drive		Hearthstone Manor
Towers	Jane E.	2	2	Lakelawn Drive		Lakelawn Estates
Towers	Myrtle Jean	1	42	Clearview Drive		Hearthstone Manor
Towers	William Edward	2	2	Lakelawn Drive		Lakelawn Estates
Townsend	John R.	1	4003L	N Sagamore Drive		Hearthstone Manor
Trivits	Courtney R.	1	100	Beaufort Lane		Orchard Hill
Troisi	Carol A.	1	707	Cedarwood Court		Marshall Commons
Troisi	Gilbert Gene	1	707	Cedarwood Court		Marshall Commons
Trotman	Audrey L.	4	110	NW Fourth Street		
Truitt	William C.	1	312	Fisher Avenue		
Tschantre	Joyce M.	2	815	Seabury Avenue		
Tschantre	Leon E.	2	815	Seabury Avenue		
Tucker	Atwood Jr.	1	507	Marshall Street		
Tucker	Deborah H.	3	805	SE Second Street		
Tucker	Eileen M.	4	112	N Landing Drive		Knotts Landing
Tucker	Francis	4	112	N Landing Drive		Knotts Landing

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Tucker	Jason K.	4	112	N Landing Drive		Knotts Landing
Tucker	John D.	1	315	McColley Street		
Tucker	Mary F.	1	507	Marshall Street		
Tucker	Samuel D.	3	106	Lovers Lane		
Tucker	William Fred	1	706	Cedarwood Court		Marshall Commons
Tunnell	Frances M.	4	708	Truitt Avenue Ext		
Tunnell	Harvey Jr.	4	708	Truitt Avenue Ext		
Turner	Cynthia Ann	4	107	Starland Way		Knotts Landing
Turner	George W.	3	103	Charles Street		
Turner	Jane J.	3	103	Charles Street		
Turner	Paul A.	4	107	Starland Way		Knotts Landing
Turner	Timothy Mark	1	125	Barksdale Court		Hearthstone Manor
Turner	Verna L.	1	303	Matthew Circle		Matlinds Estates
Uffner	Martin J.	2	8	E Clarke Avenue		
Van Tine	John William	4	901	Roosa Road		
Van Tine	Virginia Roosa	4	901	Roosa Road		
VanAlstine	Robert I.	4	104	Ashley Way		Milford Crossing
Vanaman	Charles P.	3	217	McColley Street		
Vanaman	Susan B.	1	700	SE Fifth Street		
VandenDries	Jody N.	3	324	SE Second Street		
VanGorder	Joan J.	2	301	S DuPont Boulevard		
VanGorder	Robert F.	2	301	S DuPont Boulevard		
Vann	Mary Ann	4	108	Allen Way	31	Brightway Commons
VanVorst	Gladys E.	2	14	Elizabeth Street		
VanVorst	Richard E.	2	14	Elizabeth Street		
VanVorst	Robert E.	2	14	Elizabeth Street		
Vaughn	George H.	4	233	S Landing Drive		Knotts Landing
Vaughn	John C. Sr.	3	503	NE Fifth Street		
Vaughn	Nancy F.	3	503	NE Fifth Street		
Vaughn	Patricia G.	4	233	S Landing Drive		Knotts Landing
Vazquez	Cesar M.	1	3201D	W Brookmeyer Drive		Hearthstone Manor
Vazquez	Linda L.	1	3201D	W Brookmeyer Drive		Hearthstone Manor
Veals	Thelma Judy	1	8	Briar Court		Meadows at Shawnee
Vehlow	Karen Marcy	1	41	Meadow Lark Drive		Meadows at Shawnee
Vehlow	Richard Herbert	1	41	Meadow Lark Drive		Meadows at Shawnee
Vendetti	William A.	1	119	Barksdale Court		Hearthstone Manor
Venett	Ashley Rose	2	509	S Walnut Street		
Venett	Steven Emmett	2	509	S Walnut Street		
Verkade	David W.	2	604	New Street		
Verkade	Dianne	2	604	New Street		
Veumar	Kathy Ann	2	12	Sunset Lane		
Veumar	Lorraine N.	3	27	General Torbert Drive		Sawmill Village

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Veumar	Michael W.	3	27	General Torbert Drive		Sawmill Village
Veumar	Stephen M.	2	12	Sunset Lane		
Vican	Anthony J. Jr.	2	509	Cedarwood Avenue		
Vican	Barbara	2	509	Cedarwood Avenue		
Vican	Denise Kaye	1	414	Fisher Avenue		
Vican	Richard A.	1	414	Fisher Avenue		
Vicino	Jean	1	8	E Bullrush Drive		Meadows at Shawnee
Vicino	Michael J.	1	8	E Bullrush Drive		Meadows at Shawnee
Villalobos	Anne Layton	1	2	Royal Court		Orchard Hill
Villalobos Martinez	Osiel	1	2	Royal Court		Orchard Hill
Villamor	Erlinda	3	19605	Drummond Drive		Fork Landing
Vincent	Calvin Lenwood	1	11	Crown Circle		Orchard Hill
Vincent	Patricia Carolyn	1	11	Crown Circle		Orchard Hill
Viohl	Donald L.	3	105	Franklin Street		
Viramontes	Eric B	2	408	Evergreen Circle		Lakelawn Estates
Viramontes	Felicia B.	2	408	Evergreen Circle		Lakelawn Estates
Viramontes	Robert	2	408	Evergreen Circle		Lakelawn Estates
Viramontes	Rose E.	2	408	Evergreen Circle		Lakelawn Estates
Voshell	Joyce A.	2	506	Reed Road		Lakelawn Estates
Voshell	Robert J.	2	506	Reed Road		Lakelawn Estates
Wachel	Georgeana	1	511	Marshall Street	F	
Waddler	Michele D.	2	501	Lakelawn Drive		Lakelawn Estates
Wadkins	Pearl B.	2	11	W Clarke Avenue		
Wadkins-Berry	Gaillyn	2	422	S Walnut Street		
Wagamon	James A	4	113	NW Front Street		
Wagner	Benjamin E.	3	19591	Drummond Drive		Fork Landing
Wagner	Catherine A.	3	19591	Drummond Drive		Fork Landing
Wahl	Eric C.	1	3301C	N Sagamore Drive		Hearthstone Manor
Walch	Diana L.	2	406	Marvel Road		Lakelawn Estates
Walch	Vernon H.	2	406	Marvel Road		Lakelawn Estates
Waldorf	Anne T.	1	103	Marlin Court		Orchard Hill
Waldorf	Louis J. Jr.	1	103	Marlin Court		Orchard Hill
Walker	Barbara Mary	4	8	Lucia Drive		
Walker	Cassie Lawn	3	39	Fisher Avenue		
Walker	David B.	3	37	General Torbert Drive		Sawmill Village
Walker	James Peter	3	39	Fisher Avenue		
Walker	Jamie A. Sr.	4	8	Lucia Drive		
Walker	Paul E. Jr.	4	8	Archers Way		Archers Knoll
Walker	Phyllis E.	4	8	Archers Way		Archers Knoll
Walker	Ronda D.	3	511	SE Front Street		
Wallace	Elizabeth Kelly	1	4402F	Fullerton Court		Hearthstone Manor
Wallace	Jon Robert	2	413	Woodland Drive		Lakelawn Estates

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Walls	Blanche Jefferson	1	630	Marshall Street		
Walls	Charles A.	1	630	Marshall Street		
Walls	Daniel J.	3	208	Marshall Street		
Walls	Harold Lewis	1	630	Marshall Street		
Walls	James Jay	1	809	SE Fifth Street		
Walls	John W.	1	805	SE Fifth Street		
Walls	Lauren Marie	1	809	SE Fifth Street		
Walls	Patricia G.	1	314	Fisher Avenue		
Walls	Robert O.	1	314	Fisher Avenue		
Walls	Sara E.	3	708	N Washington Street		
Walls	Shirley M.	1	809	SE Fifth Street		
Walls	Tina Sue	1	630	Marshall Street		
Walls	Colin W. Sr	1	805	SE Fifth Street		
Walls-Culotta	Sandra L	2	6	E Clarke Avenue		
Walls-Hall	Sharon	1	4203K	Fullerton Court		Hearthstone Manor
Walsh	Florence K.	2	809	Seabury Avenue		
Walter	Roland Lee	4	6	Lucia Circle		
Walter	Stephen C.	2	404	Woodland Drive		Lakelawn Estates
Walter	Tiffany	2	404	Woodland Drive		Lakelawn Estates
Walters	Darrell Andrew	2	603	Lakeview Avenue		
Walters	Kristin M.	2	603	Lakeview Avenue		
Walters	Quinn Andrew	2	32	N Walnut Street		
Walters	Regina A.	2	502	NW Front Street	B	
Walther	Joan D.	1	3203I	E Brookmyer Drive		Hearthstone Manor
Waltman	Albert	2	14-22	NW Front Street	12	
Waltman	Norma F.	3	919	SE Second Street		
Waples	Charlene A.	1	307	Charles Street		
Ward	Carlos Everado Sr.	1	2	Briar Court		Meadows at Shawnee
Ward	Maria Tomasa	1	2	Briar Court		Meadows at Shawnee
Warfel	Anthony Brooks	3	61	General Torbert Drive		Sawmill Village
Warfel	Brendon T.	3	960	NE Front Street		
Warfel	Cynthia L.	3	960	NE Front Street		
Warfel (Davis)	Margaret T.	3	61	General Torbert Drive		Sawmill Village
Warren	Catherine D.	3	503	NE Front Street		
Warren	Cecelia M.	2	1031	S DuPont Boulevard		
Warren	Mary Ann	2	400	Sussex Avenue		
Warrington	Carole A.	4	803	N DuPont Boulevard		
Watford	Bonnie K.	2	1	Donovan Street		
Watford	Stroman T. Jr.	2	1	Donovan Street		
Watson	JoAnn Smith	2	601	Marvel Road		Lakelawn Estates
Watson	Katie T.	2	709	New Street		
Watts	Sandra J.	4	308	North Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Webb	Aileen R.	3	909	Berry Lane		
Webb	Diane D.	3	5	NE Sixth Street		
Webb	Harold L.	3	101	NE Eighth Street		
Webb	Jesse C.	3	19858	Beaver Dam Road		
Webb	John D.	3	610	SE Second Street		
Webb	Melissa P.	3	101	NE Eighth Street		
Webb	Michele Renee	3	805	N Walnut Street		
Webb	Philip R.	4	248	S Landing Drive		Knotts Landing
Webb	Thomas E.	3	909	Berry Lane		
Webb	Joyce L.	3	19858	Beaver Dam Road		
Weber	Bobby	3	112	Marshall Street		
Weeks	Deborah Carol	1	116	W Green Lane		Orchard Hill
Welch	Linda B.	2	714	New Street		
Welch	Linda Kay	1	4501C	Summer Brook Way		Hearthstone Manor
Wells	Joseph W.	3	212	N Washington Street		
Wells	Michael S.	3	603	N Walnut Street		
Wells	Pamela Anne	3	603	N Walnut Street		
Wells	Rita F.	3	52	General Torbert Drive		Sawmill Village
Wendland	Ann Eileen	1	157	Hickory Branch Court		Hearthstone Manor
West	Esther Catherine	1	606	Montgomery Street		
Western	Lillian M.	2	431	Kings Highway		
Western	Paul W.	4	104	N Church Street		
Whalen	Deborah S.	2	800	S Walnut Street		
Whalen	Joseph P.	2	800	S Walnut Street		
Whaley	Cory M.	1	6	Fairway Court		Orchard Hill
Whaley	Jeremiah K.	4	110	N Church Street		
Whaley	Latanya J.	4	110	N Church Street		
Wheatley	Bruce D.	1	11	W Bullrush Drive		Meadows at Shawnee
Wheatley	Mary Lou	1	11	W Bullrush Drive		Meadows at Shawnee
White	Bonnie Lee	4	130	N Landing Drive		Knott's Landing
White	Ernestine Helene	1	143	Hickory Branch Court		Hearthstone Manor
White	James	4	514	N Church Street	B	
White	Kathleen E.	2	26	McCoy Street		
White	Katrina L.	2	122	SE Second Street		
White	Marc Richard	1	113	Beaufort Lane		Orchard Hill
White	Michael R.	1	308	Fisher Avenue		
White	Pedro T.	4	105	Bright Way		Brightway Commons
White	Peter W.	2	5	Delaware Avenue		
White	Susan Marie	1	1002	Lemuel Street		
White	Wallace A.	4	512	N Church Street		
White	Yvonne Carol	2	514	Kings Highway Ext		
Whitney	Wayne B.	1	403	Marshall Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Whyte	Carol Jean	1	406	Marshall Street		
Wiegman	Kathleen A.	2	427	Kings Highway		
Wiessner	Gilbert William Jr	2	18516	Thelma Lane		Walnut Village
Wilcox	Shana Le Ann	4	400	N Walnut Street		
Wilcutts	Mary L.	2	624	NW Front Street		
Wilcutts	Roy	2	624	NW Front Street		
Wiley	David A.	3	511	SE Front Street		
Wiley	Joseph E.	2	202	Lakeview Avenue		
Wiley	Renate K.	2	202	Lakeview Avenue		
Wilkerson	David A.	4	209	Truitt Avenue		
Wilkins	Audie M.	2	308	Hall Place		
Wilkins	Bernice J.	2	418	Kings Highway		
Wilkins	Carol Ann	2	608	New Street		
Wilkins	Howard C. II	1	410	Bridgeham Avenue		
Wilkins	Julia A.	2	19	W Clarke Avenue		
Wilkins	Sandra Lee	1	807	SE Fourth Street		
Wilkinson	David Wayne	3	911	SE Third Street		
Wilkinson	Floyd H. Jr.	1	503	McColley Street		
Wilkinson	Janet	1	503	McColley Street		
Willey	Ruth E.	3	214	Charles Street		
Williams	Ann C.	3	108	Charles Street		
Williams	Ann C.	1	655	Beechwood Avenue		Marshall Commons
Williams	Bernadette J.	2	5	Wilbur Street		
Williams	Daniel C.	2	5	Wilbur Street		
Williams	Debra Lewis	1	111C	Barksdale Court		Hearthstone Manor
Williams	Donald E.	1	20	E Bullrush Drive		Meadows at Shawnee
Williams	Grant A.	2	127	School Place		
Williams	Jakeisha N.	1	26	Meadow Lark Drive		Meadows at Shawnee
Williams	John R.	4	408	Church Street		
Williams	Linda L.	2	32	Elizabeth Street		
Williams	Nolan Stafford	1	111C	Barksdale Court		Hearthstone Manor
Williams	Tonya R.	2	810	New Street		
Williamson	James Richard	3	209	Lovers Lane		
Williams-Terrell	Maxine	1	20	E Bullrush Drive		Meadows at Shawnee
Willis	Dawn L.	2	304	Hall Place		
Willis	Doris M.	2	500	S DuPont Boulevard		The Heritage
Willis	Hilda B.	2	1001	Mispillion III		
Wilmington	Timothy R	4	130	N Landing Drive		Knott's Landing
Wilson	Adelaide E.	4	408	North Street		
Wilson	Bonnie L.	3	506	SE Front Street		
Wilson	Carlene	2	11	Nelson Street		
Wilson	Joshua M.	2	11	Nelson Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Wilson	Katrina J.	4	605	North Street Ext		
Wilson	Michael L.	2	11	Nelson Street		
Wilson	Nakiema Danica	4	200	Valley Drive	33	Valley Run Apts
Wilson	R. Darrell P.	4	605	North Street Ext		
Wilson	Richard A.	2	11	Nelson Street		
Wilson	Shayla Michele	2	11	Nelson Street		
Winder	Diane A.	4	201	N Church Street		
Windsor	Joan Marie	2	11	McCoy Street		
Winkler	Carol Anne	1	4201D	Fullerton Court		Hearthstone Manor
Wintjen	Barbara Jean	4	606	N Walnut Street		
Wisniewski	Frank A. Jr.	1	313	McColley Street		
Wisniewski	Therese M.	1	313	McColley Street		
Witman	Frances L.	3	45	General Torbert Drive		Sawmill Village
Witman	Russell G. III	3	2	Governor Tharp Court		Sawmill Village
Wolf	Barbara Ann	2	406	NW Front Street		
Wolf	Mary E.	2	308	Regent Road		Lakelawn Estates
Wolfe	Joseph Ashley	2	18	Delaware Avenue		
Wolfe	Kenneth W.	3	505	SE Front Street		
Wolhar	Angela Marie	1	214	Beaufort Lane		Orchard Hill
Wolhar	Robert C III	1	214	Beaufort Lane		Orchard Hill
Wood	Constance Downes	2	718	New Street		
Wood	Davis H.	2	520	NW Front Street		
Wood	Denise Y.	2	520	NW Front Street		
Wood	Donna O.	4	106	N Landing Drive		Knotts Landing
Wood	Lois A.	1	510	McColley Street		
Woods	Antonio Lee	4	110	West Street		
Woods	James E.	4	110	West Street		
Wooters	Lois J.	3	709	N Washington Street		
Worden	Billy Lee	1	603	Montgomery Street		
Worrall	John A.	2	514	NW Front Street	5	
Worthy	Bradie	3	217	NE Fourth Street		
Worthy	Ivery L.	3	217	NE Fourth Street		
Wothers	Mary C.	2	303	Mispillion I		
Wright	Curtis E.	3	40	General Torbert Drive		Sawmill Village
Wright	Irvin.W.	4	222	North Street		
Wright	Lois A.	4	222	North Street		
Wright	Manuela Manenti	3	40	General Torbert Drive		Sawmill Village
Wyatt	James Henry	1	117	Aspen Court		Hearthstone Manor
Wyatt	Kathi Lynn	2	113	School Place		
Wyatt	Susan R.	2	502	Caulk Road		Lakelawn Estates
Wyatt	Tiffany	3	213	Marshall Street		
Wylie	Jean A.	1	306	Charles Street		

City of Milford
Registered Voters

Last Name	First Name	Ward	Street Number	Street Name	Apt	Development
Xiques	Michele Lee	1	119	Aspen Court		Hearthstone Manor
Yonker	Janet W.	2	304	Woodland Drive		Lakelawn Estates
Yordy	Michael K.	1	6165	Kirby Road		Meadows at Shawnee
Yosifon	Meir Michael	4	126	N Landing Drive		Knotts Landing
Young	J. Gardner	4	501	NW Front Street		
Young	Lucille I.	4	601	Parson Thorne Apartments		
Young	Mable A.	4	309	N Church Street		
Young	Naomi M.	3	204	N Rehoboth Boulevard		
Young	Roger Graham Sr.	4	131	N Landing Drive		Knotts Landing
Young	Russel W.	1	153	Aspen Court		Hearthstone Manor
Young	Terrie V.	4	111	Church Street		
Zaferis	Marjorie M.	1	115	Manor Lane		
Zang	George W.	3	210	Charles Street		
Zang	Karen R.	3	210	Charles Street		
Zaremba III	Michael J.	1	58	Meadow Lark Drive		

**Preliminary Land Use Service (PLUS) Application
Pre-Update Review Request
Municipal Comprehensive Plans
Comprehensive Plan Amendments
Municipal Ordinances
Delaware Office of State Planning Coordination**

122 Martin Luther King Jr. Blvd., South • Dover, DE 19901 • Phone: 302-739-3090 • Fax: 302-739-5661

All sections related to your project must be completed. Incomplete applications could lead to delays in scheduling your review. If you need assistance or clarification, please call the State Planning Office at (302) 739-3090.

REQUESTED REVIEW: Check one

- | | |
|---|-------------------------------------|
| Comprehensive Plan Pre-Update Review
Complete Sections 1 and 3 only | <input type="checkbox"/> |
| Comprehensive Plan or Update
Complete Sections 1 and 3 only | <input type="checkbox"/> |
| Comprehensive Plan Amendment
Complete Sections 1 and 2 only | <input checked="" type="checkbox"/> |
| Municipal Ordinance Review
Complete Sections 1 and 2 only | <input type="checkbox"/> |

Date of most recently certified comprehensive plan:

1/22/18

Link to most recently certified comprehensive plan, if available:

If a link to the plan is not available, you must submit a copy of your plan with this application for a Pre-Update Review or a Comprehensive Plan Amendment.

<http://cityofmilford.com/81/Comprehensive-Plan>

**Preliminary Land Use Service (PLUS) Application
 Pre-Update Review Request
 Municipal Comprehensive Plans
 Comprehensive Plan Amendments
 Municipal Ordinances
 Delaware Office of State Planning Coordination**

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SECTION 1: MUNICIPAL INFORMATION

Name of Municipality: City of Milford	
Address: 180 Vickers Drive Milford, DE 19963	Contact Person: Rob Pierce, Planning & Development Director
	Phone Number: 302-424-8396
	Fax Number: 302-424-8559
	E-mail Address: rpierce@milford-de.gov

Application prepared by: Same as above	
Address:	Contact Person:
	Phone Number:
	Fax Number:
	E-mail Address:

**Preliminary Land Use Service (PLUS) Application
Pre-Update Review Request
Municipal Comprehensive Plans
Comprehensive Plan Amendments
Municipal Ordinances
Delaware Office of State Planning Coordination**

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**SECTION 2. COMPREHENSIVE PLAN AMENDMENT OR MUNICIPAL
ORDINANCE DESCRIPTION**

Please describe the submission.

See attached narrative.

Amendment Request #1 – SE Master Plan

In the process of developing a draft ordinance to establish a Transfer of Development Rights Program as outlined in the SE Master Plan, the City of Milford has determined that it would be beneficial to move Receiving Area #4 further south to encompass a single tax parcel that is located on both sides of Cedar Creek Road. The previously designated area included several developed strip lots along Johnson Road and Cedar Creek Road which may be more difficult or impractical to redevelop for large-scale residential use. The City feels that shifting this area further to the south would benefit the TDR program.

Additionally, Receiving Area #2 has been reshaped to encompass a single tract of land located along the east side of Bucks Road for similar reasons. The City feels that minimizing the number of properties involved in the receiving areas will lead to better program success.

The acreage for the receiving areas was increased to 290 acres, increasing the number of Transfer Credits available to 1,450, which is closer to the numbers provided in the sending area analysis.

The below table replaces Table 4.2 found on page 25 of the SE Master Plan in its entirety. The updated table provides a breakdown for each of the four tax parcels involved and corrects a calculation error in the “8 dwelling unit per acre” column.

Table 4.2. TDR Receiving Area Analysis

Milford TDR Receiving Areas					
ID	Tax Parcel Number	Receiving Area Acreage	Base Zoning at 3 DU/Acre	TDR Zoning at 8 DU/Acre	Total Transfer Credits Allowed
1	3-30-11.00-056.00	55	165	440	275
2	3-30-11.00-068.00	55	165	440	275
3	3-30-15.00-024.00	60	180	480	300
4	3-30-16.00-016.00	120	360	960	600
		290		2,320	1,450

The City has updated Map #1, #2, #3, #5 and #6 to show the above referenced changes to the TDR Receiving Areas and provides identification numbers for the four parcels involved.

Amendment Request #2 – Marina-Del Project

The City has received a request from the owner/developer of tax parcels 3-30-7.00-035.00, 036.00 & 037.00 located along the south side of Cedar Beach Road (State Route 36) just west of SR1 to develop the site into highway commercial and residential uses. The adopted Future Land Use exhibit shows Commercial along Route 36 with limited Moderate Density Residential along two of the parcels off of Beaver Dam Road. The developer has requested more Moderate Density Residential as shown on attached Exhibit B.

Amendment Request #3 – S. Rehoboth Boulevard Corridor

Three of the properties identified in the 2018 Comprehensive Plan update as Commercial Future Land Use have requested to keep their I-1 Limited Industrial zoning designation. As such, the City requests permission to amend the Future Land Use maps by changing these to Industrial Future Land Use. These include tax parcel numbers 3-30-7.18-022.00, 023.00 and 025.02. The proposed map amendments are shown on attached Exhibit C.

Amendment Request #4 – Windward on the River – Commercial and Residential Site Plan

The City of Milford recently processed land use applications for the Windward on the River Multi-Family and Commercial site plans. The proposed Future Land Use map amendment would clean up the boundary between the residential and commercial portions of the project by changing portions of tax parcel 3-30-7.00-033.00 from Moderate Density Residential to Commercial, changing 3-30-11.00-261.00 from Commercial to Moderate Density Residential and changing tax parcel number 3-30-11.00-043.00 from Low Density Residential to Commercial. The proposed map amendments are shown on attached Exhibit D.

Amendment Request #5 – Kaplan Property – 302 Polk Avenue – Employment to Low Density Residential

The owner of parcel 1-30-3.08-067.00 has requested a rezoning from H-1 Institutional Development to OB-1 Office Building in order to allow different types of professional offices to occupy the existing structure. The property contains a residential structure that had been previously converted into a medical office. The existing and future use of the building would be better suited for the OB-1 zoning instead of the H-1 zoning. The owner has requested the land use of the property be changed from Employment to Low Density Residential to allow the rezoning request to move forward as shown on attached Exhibit E.

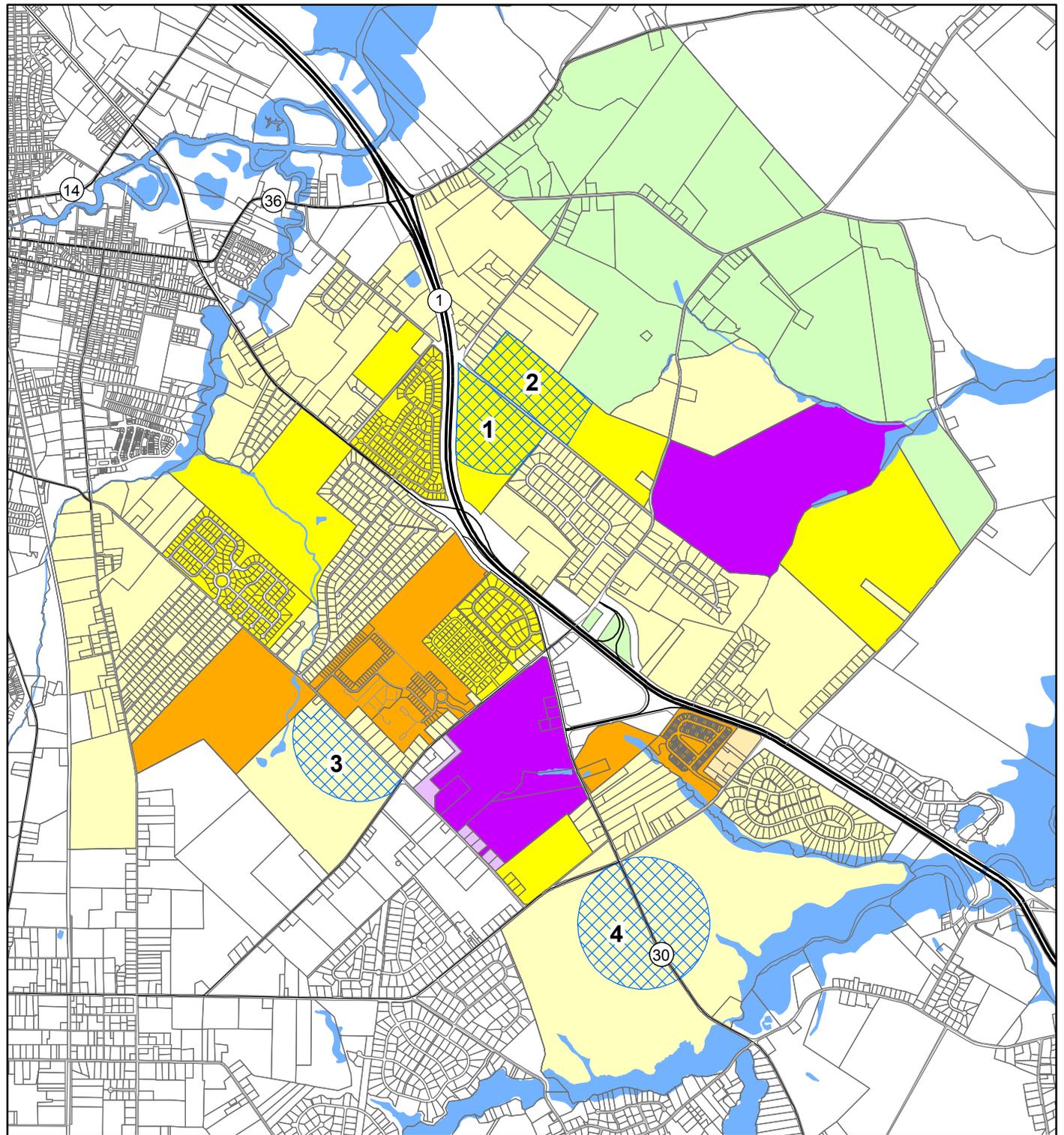
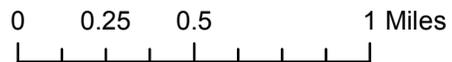
Milford South East Neighborhood Master Plan

Map #1 Land Use

Revised March 2019

Legend

-  TDR Receiving Areas
-  Employment Center
-  Commercial
-  Residential - Low Density
-  Residential - High Density
-  Open Space Agriculture
-  Proposed Employment
-  Proposed Commercial
-  Proposed Residential - Low Density
-  Proposed Residential - High Density
-  Proposed Open Space Agriculture



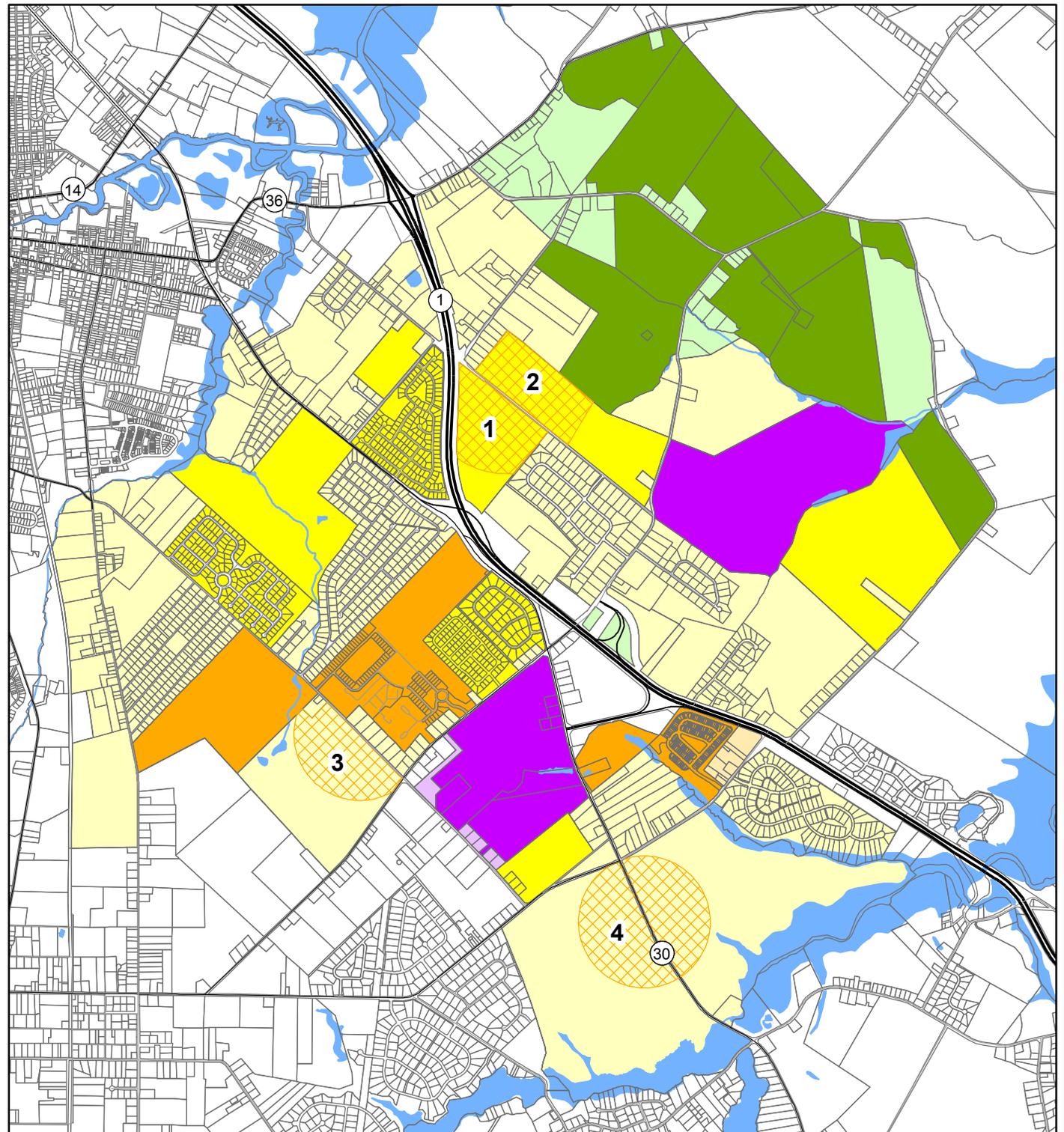
Milford South East Neighborhood Master Plan

Map #2 Land Use & Agriculture

Revised March 2019

Legend

-  TDR Receiving Areas
-  TDR Sending Areas
-  Employment Center
-  Commercial
-  Residential - Low Density
-  Residential - High Density
-  Open Space Agriculture
-  Proposed Employment
-  Proposed Commercial
-  Proposed Residential - Low Density
-  Proposed Residential - High Density
-  Proposed Open Space Agriculture



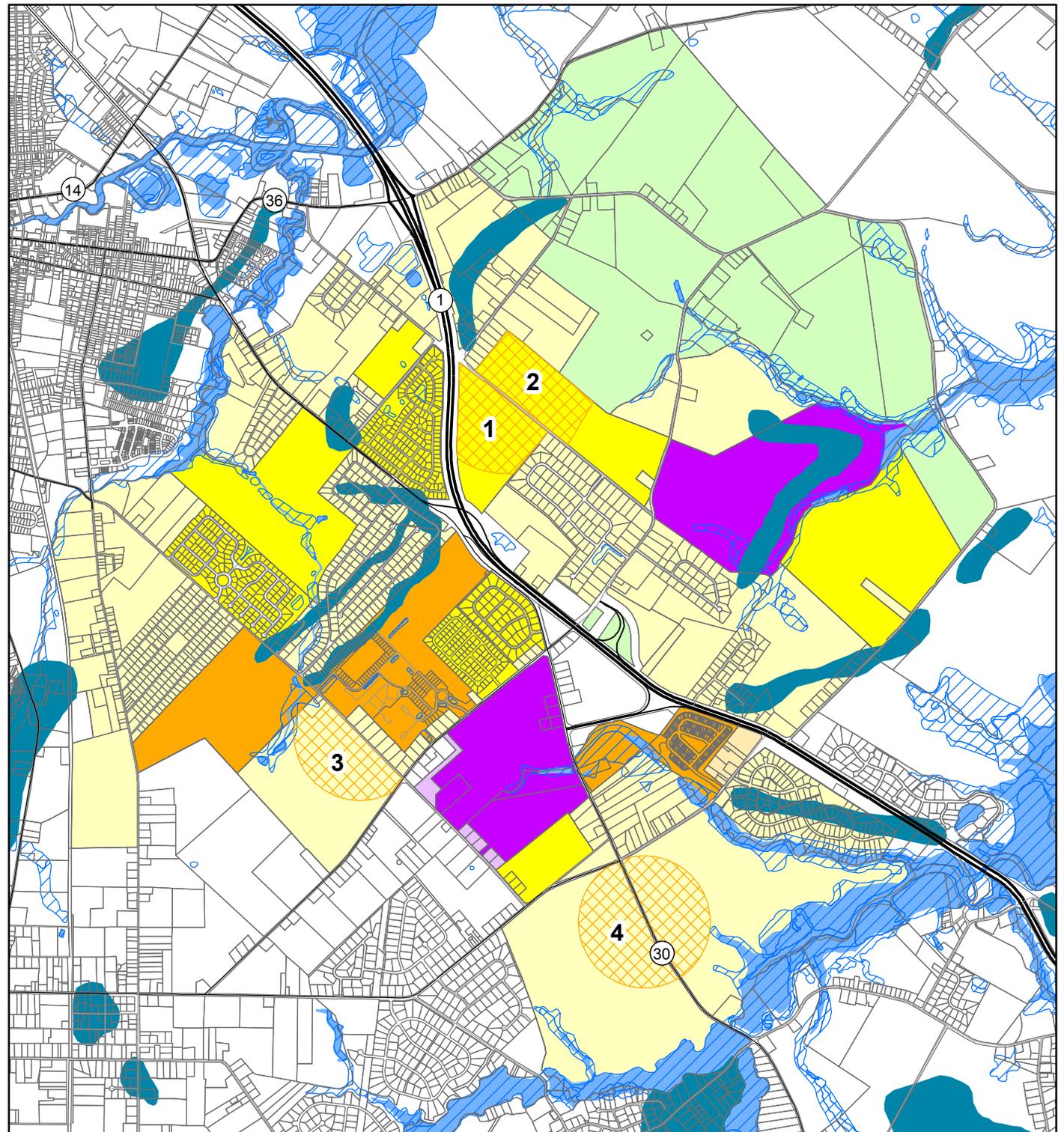
Milford South East Neighborhood Master Plan

Map #3 Land Use & Environment

Revised March 2019

Legend

-  TDR Receiving Areas
-  Excellent Recharge Area
-  Wetlands
-  Employment Center
-  Commercial
-  Residential - Low Density
-  Residential - High Density
-  Open Space Agriculture
-  Proposed Employment
-  Proposed Commercial
-  Proposed Residential - Low Density
-  Proposed Residential - High Density
-  Proposed Open Space Agriculture



Milford South East Neighborhood Master Plan

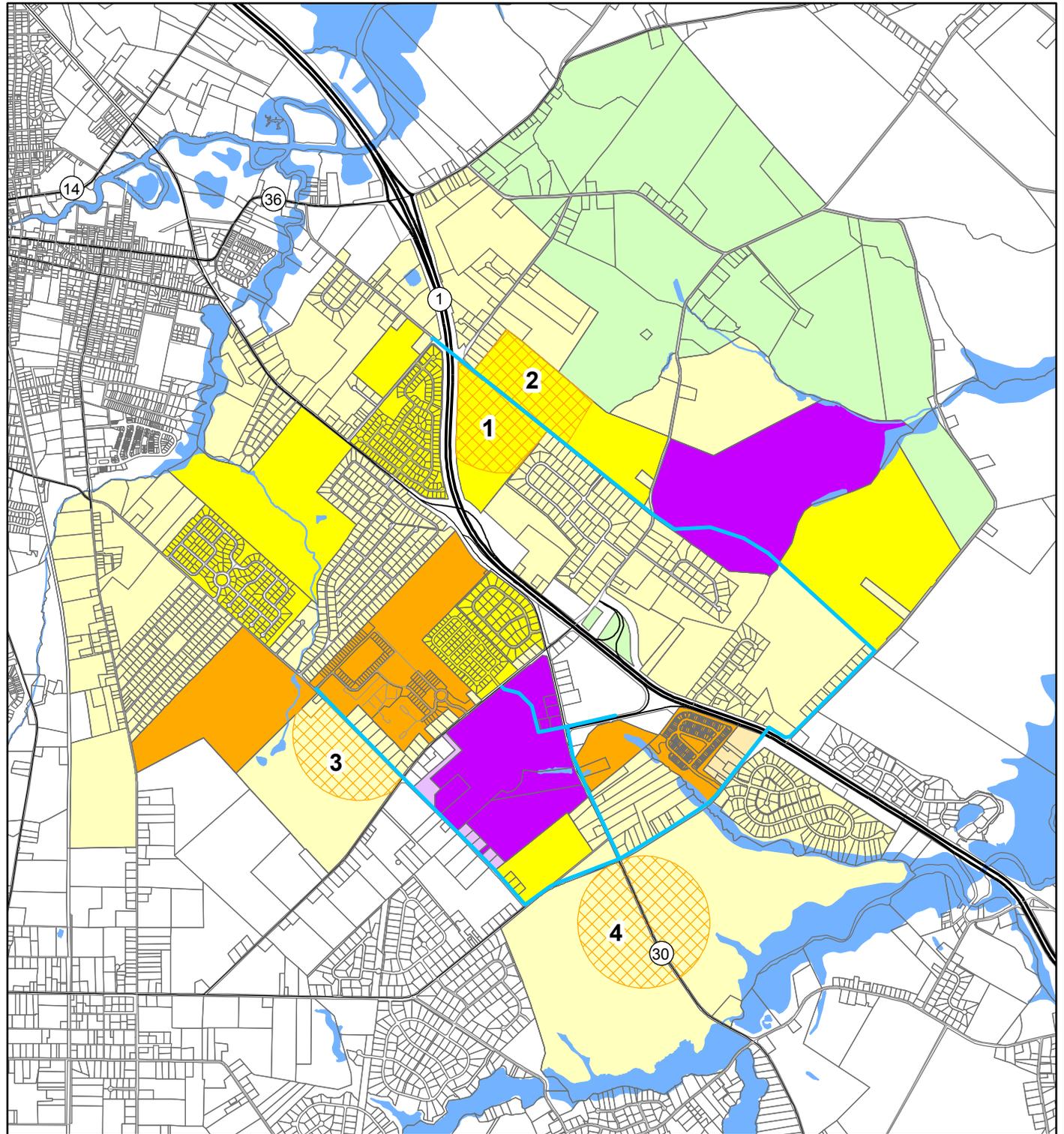
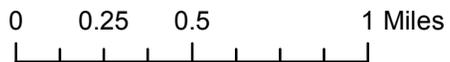
Map #5 Land Use & Water

Revised March 2019

Legend

-  Proposed Water System
-  Existing Water System
-  TDR Receiving Areas
-  Employment Center
-  Commercial
-  Residential - Low Density
-  Residential - High Density
-  Open Space Agriculture
-  Proposed Employment
-  Proposed Commercial
-  Proposed Residential - Low Density
-  Proposed Residential - High Density
-  Proposed Open Space Agriculture

*Conceptual alignment subject to change



Milford South East Neighborhood Master Plan

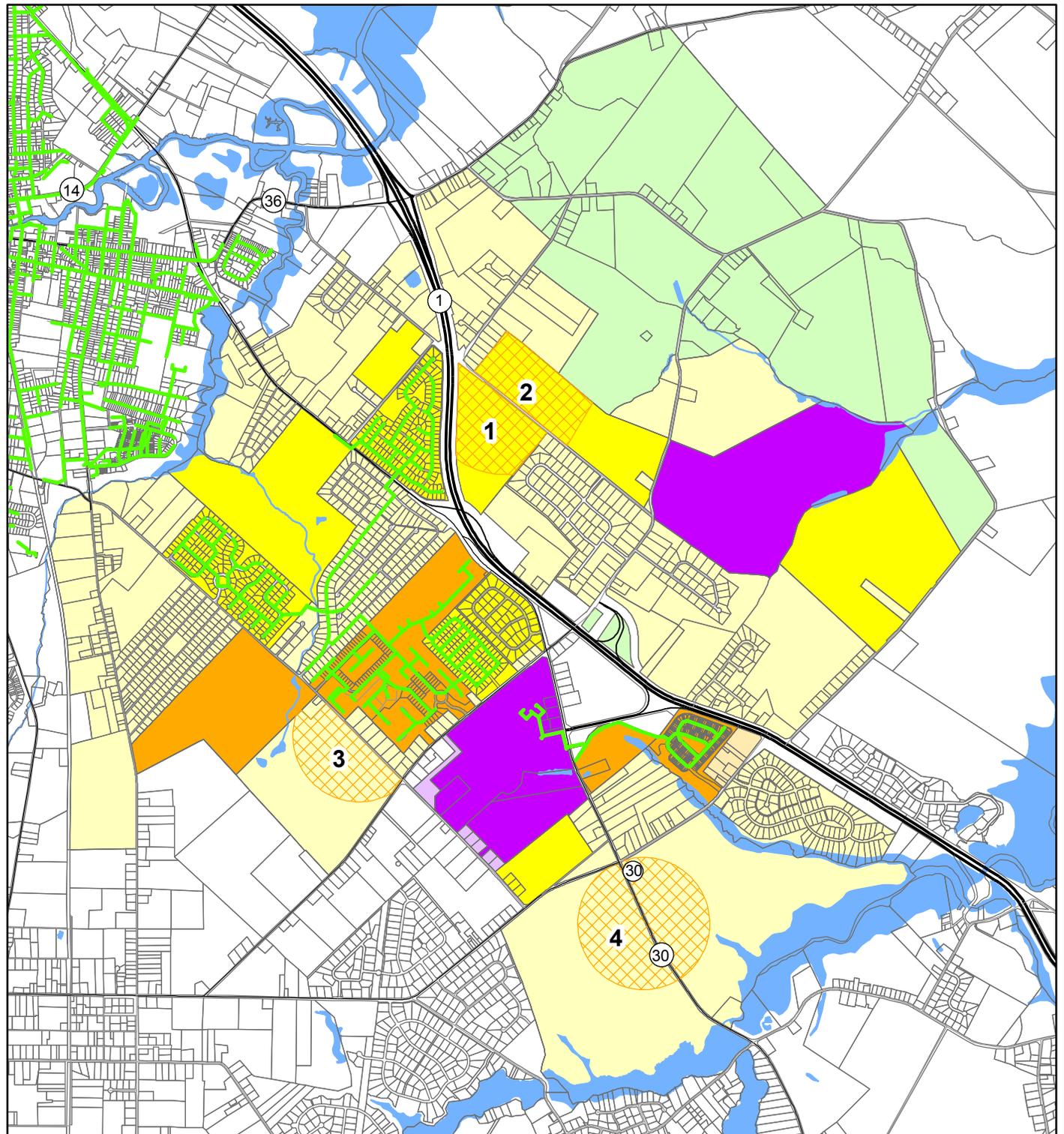
Map #6 Land Use & Wastewater

Revised March 2019

Legend

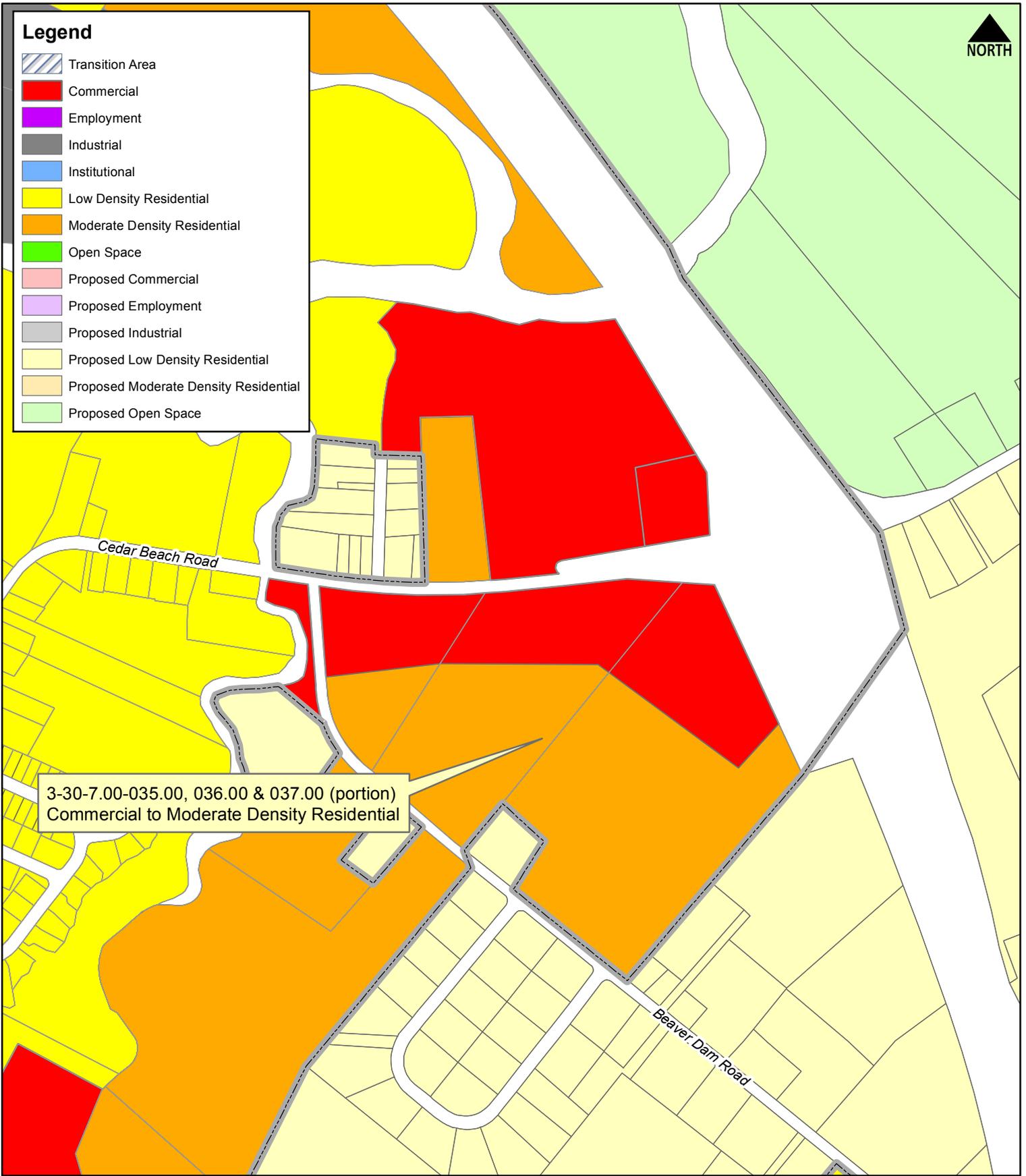
-  Proposed PS
-  Proposed FM
-  Existing Gravity Sewer
-  TDR Receiving Areas
-  Employment Center
-  Commercial
-  Residential - Low Density
-  Residential - High Density
-  Open Space Agriculture
-  Proposed Employment
-  Proposed Commercial
-  Proposed Residential - Low Density
-  Proposed Residential - High Density
-  Proposed Open Space Agriculture

*Conceptual alignment subject to change

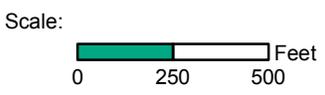


Legend

-  Transition Area
-  Commercial
-  Employment
-  Industrial
-  Institutional
-  Low Density Residential
-  Moderate Density Residential
-  Open Space
-  Proposed Commercial
-  Proposed Employment
-  Proposed Industrial
-  Proposed Low Density Residential
-  Proposed Moderate Density Residential
-  Proposed Open Space



3-30-7.00-035.00, 036.00 & 037.00 (portion)
Commercial to Moderate Density Residential

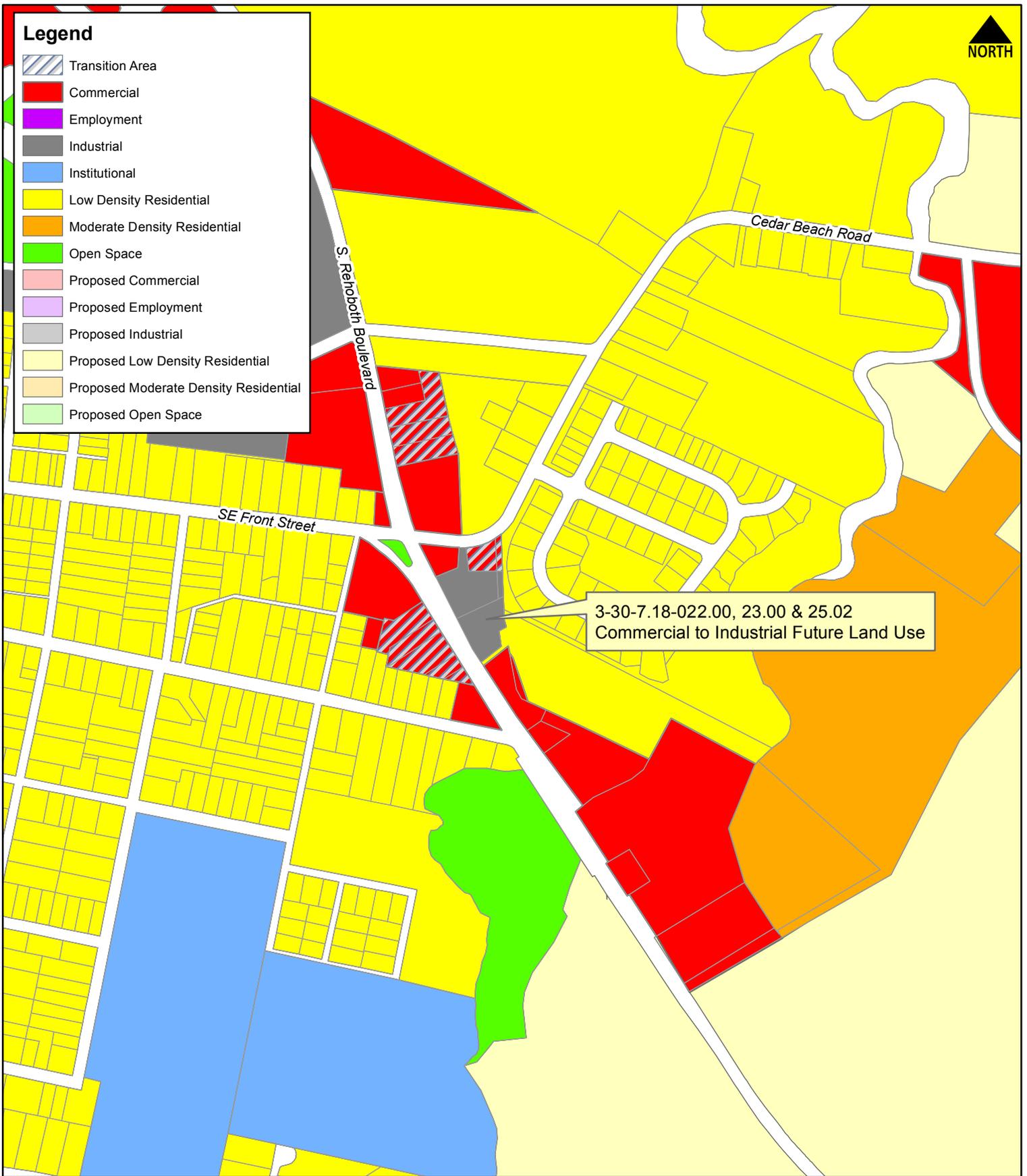


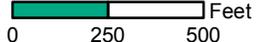
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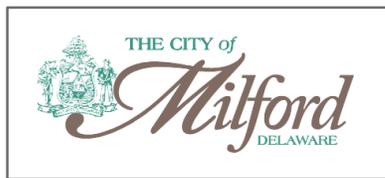
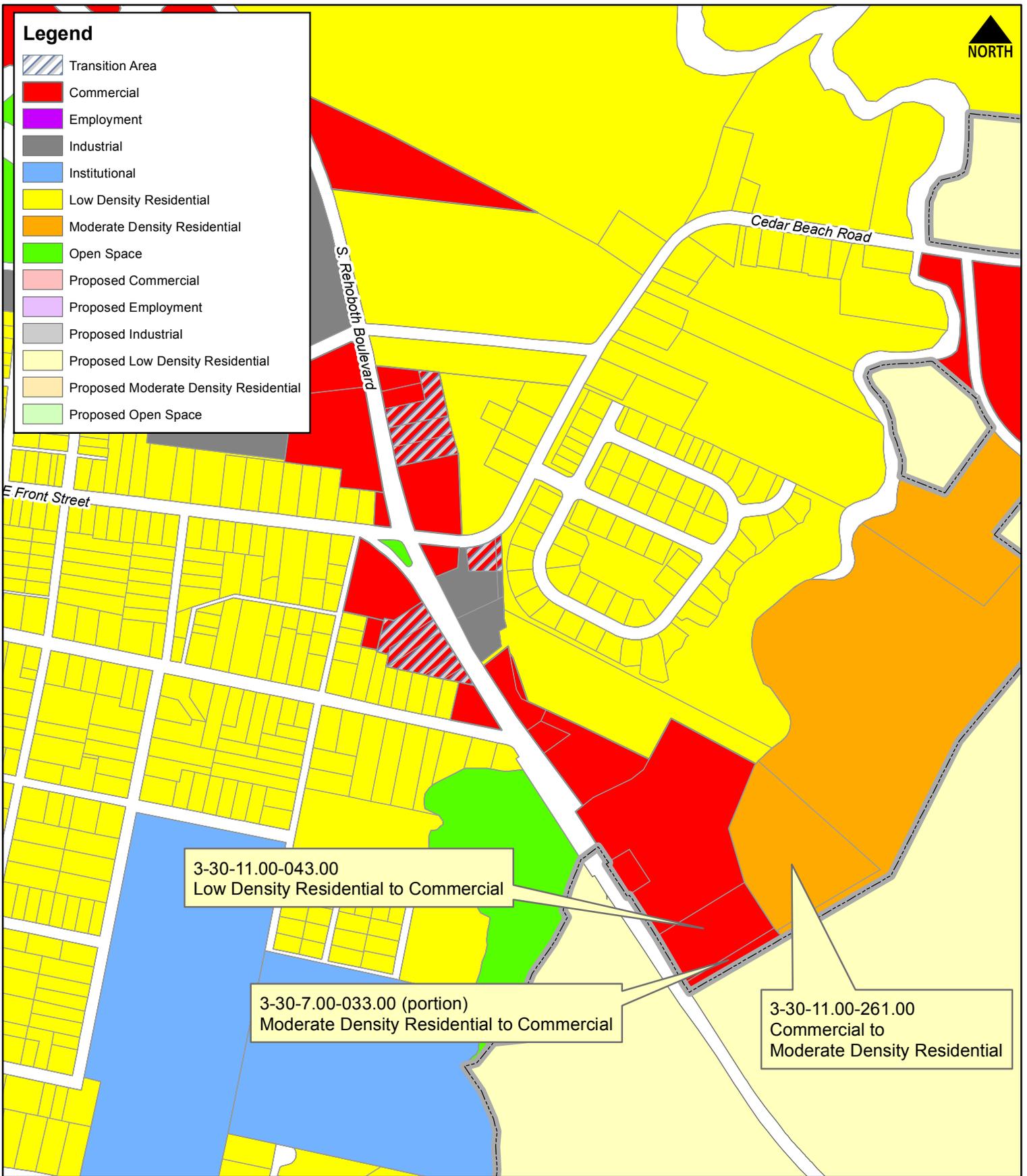
Title:

Exhibit B
2019 Comprehensive Plan Amendment
Future Land Use Map

Filepath: Exhibit_B_032619.mxd



	Scale:  Feet 0 250 500	Title: <p style="text-align: center;">Exhibit C 2019 Comprehensive Plan Amendment Future Land Use Map</p>
	Drawn by: WRP Date: 03/26/19	
Filepath: Exhibit_C_032619.mxd		

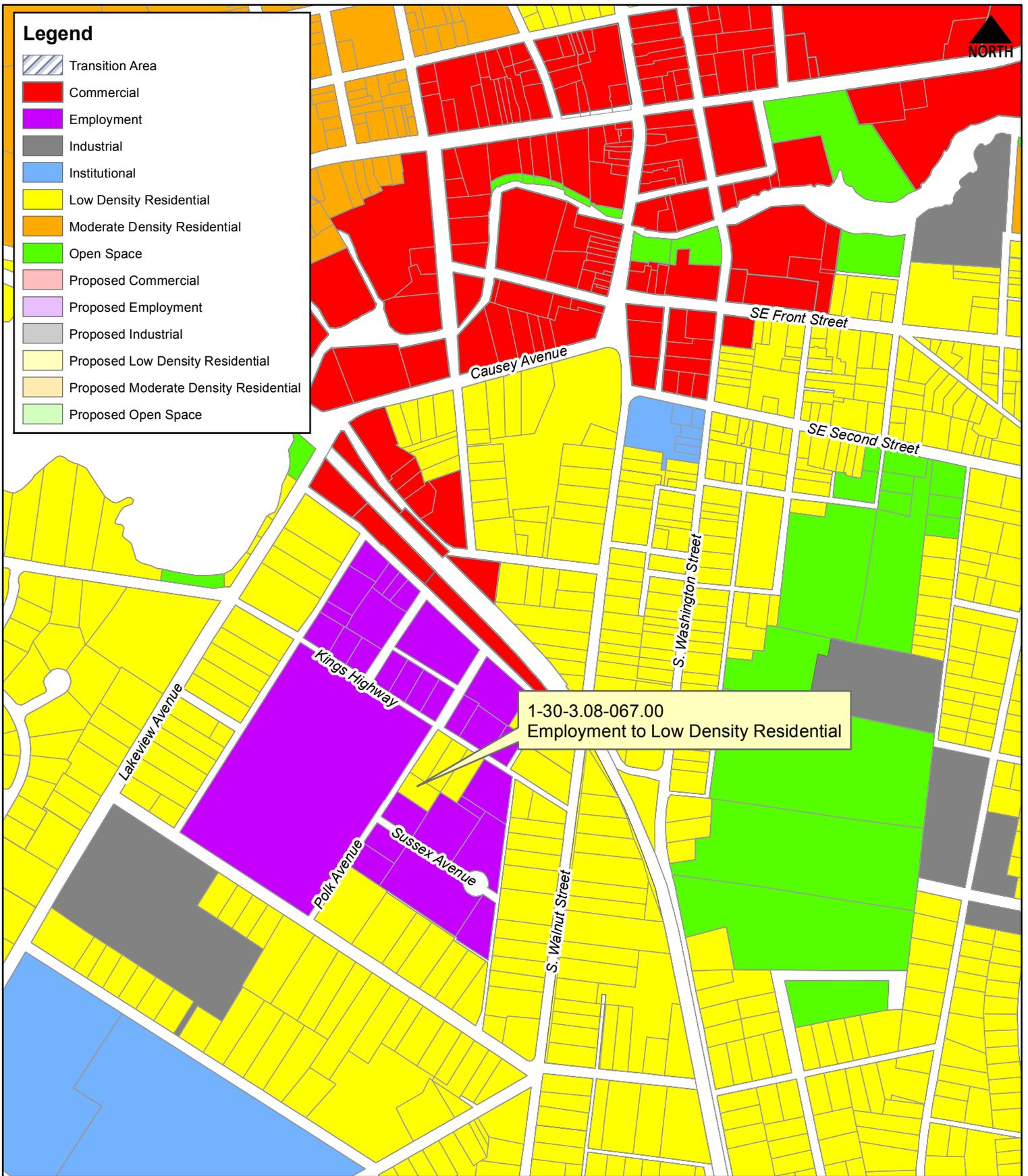


Scale: 0 250 500 Feet

Drawn by: WRP Date: 03/26/19

Title: Exhibit D
2019 Comprehensive Plan Amendment
 Future Land Use Map

Filepath: Exhibit_D_032619.mxd



PARKS & RECREATION DEPARTMENT
207 Franklin Street
Milford, DE 19963



PHONE 302.422.1104
FAX 302.422.0409
www.cityofmilford.com

MEMO

TO: Mayor and Council
Eric Norenberg, City Manager
FR: Brad Dennehy, Parks & Recreation Director
DA: 04/15/19
RE: Riverwalk Decking & Upgrading Project Change Order

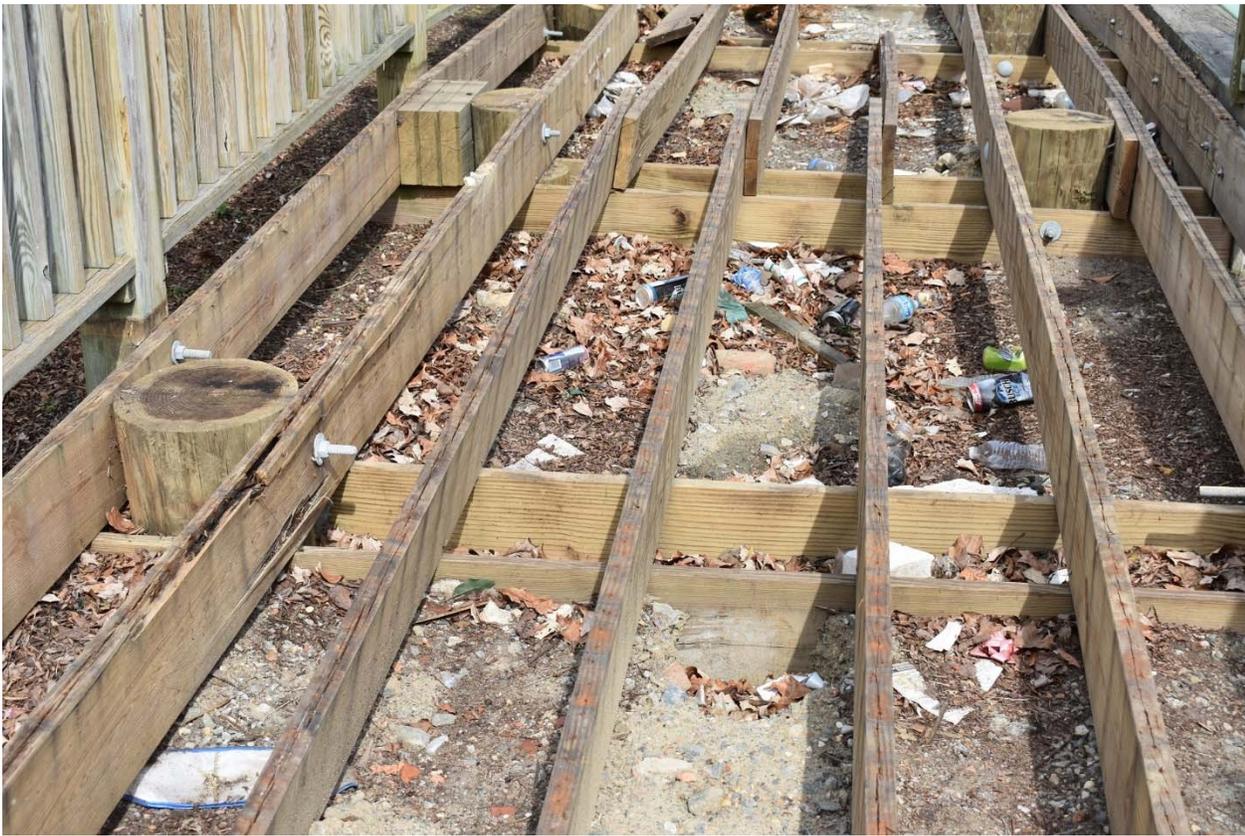
We are in the final stages of the removal and replacement of the wooden decking on the Riverwalk project. For the most part the project has gone as planned, however the final section to have the deck boards removed exposed a compromised area of wooden joists and beams.

Unfortunately there is no way the new composite deck boards can be attached without this area first having the structure (beams and joists) removed and replaced. Please see attached description from our design professional giving the reasons why he believes the structure failed. We have received a proposal from the contractor based upon recommendations from the design professional. I have also included photos as evidence of the current situation with the original deck boards removed exposing the rotten joists and beams.

The proposal from the contractor totals \$47,410.56 and the additional work needed by the design professional totals \$2,000.00 for a total of \$49,410.56. I have approached DNREC who administered the Outdoor Recreation Parks and Trails Program and they have given me a verbal commitment of 50% of this cost in a grant, contingent upon a match for the other 50%. As of today, I have applied for the funding which will likely result in an addendum to our original contract with the State. The City Manager has approached legislators to fund the remaining 50% balance out of the Community Transportation Funding (CTF).

I respectfully request Council approve the change order contingent upon the funding being approved by a grant from DNREC and funding from CTF funding.







Dennehy, Brad

From: Matt Spong <matt@las-llc.net>
Sent: Monday, April 8, 2019 2:44 PM
To: 'Gerardi Construction, Inc.'; Dennehy, Brad
Cc: Trisha Sawicki
Subject: RE: Mispillion Change Order #3 Rev Date recommendations 2 award
Attachments: 4819 Mispil Ph 20 Repair SK 3 ADA CURB.pdf

Importance: High

Shannon & Brad attached is SK 3 dated 4-8-19 . Shannon This clarifies what we discussed on Staurday with regard to blocking under 6 x 6 's to allow surface drainage to flow across the B Walk Form the West side to East . this is our" standard detail" modified for this situation and what was used on both Gary Emory / Goat island trail and Slaughter Beach Scenic Overlook projects . As discussed last week allows us to eliminate the de-Construction and re-construction 42 "the existing high fence / rail since and meet ADA requirements the adjacent height above finished grade is less than 30 " . Family it saves about almost \$5,000. over the Change order estimate of 3-29-19 .

Bard I recommend that the City of Milford accept this change order # 3 for the following reasons :

- 1) The rotten Joist and beams need to be repaired in this 458 SF section of the Greenway will the allow the public to safely utilize the Boardwalk and this portion of the Greenway that ties together the west side of The City with the Downtown and eastern portion of the Greenway ,
- 2) This was an unforeseen situation that probably was caused by a multitude of factors including : the wood treatment specified in 2005(14 years ago) for this portion of the Greenway was the beginning of wood treatment using ACQ Cooper AZ oil as mandated by the EPA . It is my opinion that this *treatment method is inferior* to the process previously used before and after this date . (This is evidenced by the fact that none of the earlier or later sections of the boardwalk (phases 10, 11 ,12 or the bridge decks in phases 9 or 11 .) joist or beams suffered from the rot that was discovered here during demolition of the wood decking for replacement with polymer or "Trex" decking .
- 3) This area regularly floods in extreme conditions and over the years the down-hill or river side of the soil has built up from re-mulching , grass clipping and other debris blocking water that seeps

1

Dennehy, Brad

From: Matt Spong <matt@las-llc.net>
Sent: Tuesday, April 9, 2019 6:46 AM
To: Dennehy, Brad
Cc: Trisha Sawicki
Subject: RE: Mispillion Change Order #3 LAs add fee

Importance: High

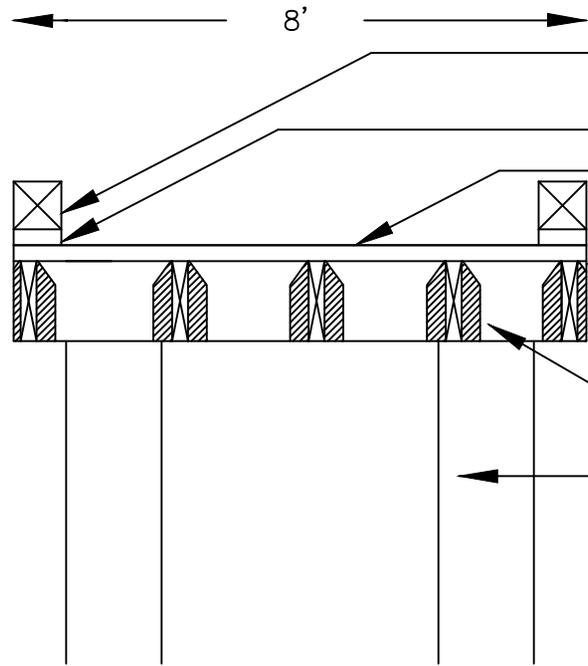
Hi Brad as we discussed last week LAS-LLC is requesting a \$ 2,000. fee to cover our time spent between 3- 5-19 4-8-19 to prepare the revised plan drawing dated 3-15-19 answer Gerardi Construction's questions about repairs by email and phone revise plan drawing dated 3-15-19 , on 3-20 & 3-22-19 to address questions . Suggest "value options to reduce Change order 3 costs, on 3-27-19 and follow up w ith contractor numerous times about submitting a written change order # 3 estimate to The City of Milford DE. Prepare SK-3 dated 4-8-19 to clarify 6 x 6 ADA curbing detail to use in lieu of wood fence rail , prepare email recommendation to award change order # 3 and coordinate with The City of Milford Parks and Recreation Department .

Please call me after 9:00 AM to discuss.

Thanks,
Matt

Matthew, T . Spong RLA, ASLA, Principal
Landscape Architectural Services, L.L.C.
Phone: 302-284-4578
FAX: 302-284-0301
matt@las-llc.net
www.las-llc.net
www.facebook.com/LAS.Dover

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- CONT 6X6 #1 GRADE TSYP TIMBER CURB with 2X6 SPACER @ 48" OC
FASTEN to STRINGERS with 1/2"X10" GALV. LAG BOLT
- 2X6 SPACER @ 4'-0" OC
- 2x6 COMPOSITE DECKING
FASTEN TO JOISTS WITH 12 1/4" X 7" STAINLESS
STEEL TRIMHEAD SCREWS COUNTERSUNK3 AT EACH JOIST
- 2x10 TRTD JOIST 16" OC. PROVIDE 3" X 10" JOIST AT OUTER EDGES.
FASTEN JOISTS TO BEAM WITH STAINLESS JOIST HANGER
SIMPSON HUS 210 OR LUS 2810
- LAP JOISTS AS NEEDED. PROVIDE 2X10 BLOCKING AT ALL LAPS.
- 2x12 BEAMS (1 ON EA. SIDE OF PILE) FASTEN TO
PILES WITH 5/8" GALV. BOLTS WITH HEX. NUTS
- EXISTING PILE

NOTE: ALL FASTENERS SHALL BE STAINLESS STEEL
ALL LUMBER SHALL BE TSYP CCA TREATED 1.0 LBS / CU FT
PER AWPA UC-1

SEE PHASE 20 PLAN DATED REV 3-21-19 FOR
DRAINAGE & WEEPHOLE DETAILS AND NOTES

SKETCH 3: 6X6 ADA CURB, JOIST & BEAM ROT REPAIR
SCALE: 1/2" = 1'-0"

WHEREAS, the Draft Strategic Plan was presented to City Council on March 12, 2018; and

WHEREAS, the Final Strategic Plan was presented to City Council on April 23, 2018.

NOW, THEREFORE BE IT RESOLVED that the City Council of the City of Milford during a regular session of Council, by a favorable majority vote, hereby accepts the 2018-2023 Strategic Plan as presented.

BE IT FURTHER RESOLVED, that the City Council of the City of Milford commends all those persons who participated in the development of the Strategic Plan for their dedication and commitment to the future of the City of Milford.

Motion carried.

NEW BUSINESS

Bid Award/Parks & Recreation/Riverwalk Decking & Upgrading Project

Parks and Recreation Brad Dennehy reported that his Department, with the assistance of our design professional, recently bid out the work to be done on the Riverwalk from Mill Street to the old Fire House, then from the State Service Center to the rear of the Second Street Players.

This includes removing all sections of decking and replacing with composite deck boards, new caps on the guardrails and pressure washing all exposed wooden areas. Pedestrian bridges will have deck boards removed and replaced as needed, and a section of the railing will be sand blasted and painted.

Matt Spong of Landscape Architect Services LLC provided the following recommendation:

Advertisement for bids of the Mispillion Greenway Upgrade ORPT #17-235-T were placed in the Delaware State News Public Notices and run on 3/19/2018 and 3/26/2018 of which four contractors requested contract documents. On March 20, 2018, there was a non-mandatory, pre-bid meeting held at the City of Milford Parks Department Building. Bids were due Tuesday, April 3, 2018 at 11:00 a.m. at the City Hall Council Room.

The bid price solicited from contractors was requested as follows:

Base Bid: To Include:

Demolition, power-washing and replacing approximately 9,400 sq. ft. of wood decking with 2X6 Polymer Lumber and approximately 2,000 linear ft. of Polymer Caps.

Plus Add Alternates

1-6 as described in the Bid Documents

The following bids were received:

- 1) Kent Construction Co. Inc. Smyrna, DE
Base Bid \$ 473,605.00. Add alternates 1-6 \$59, 926.54.
Total Base Bid and Add Alternates \$ 529,531.59
- 2) Gerardi Construction, Inc. Felton, DE
Base Bid \$ 211,517.33 Add alternates 1-6 \$82,564.74
Total Base Bid and Add Alternates \$ 294, 082.07
- 3) Norman Johnson Builders,LLC Ocean View, DE
Base Bid \$ 258,810.00 Add alternates 1-6 \$54,000.

Total Base Bid and Add Alternates \$ 312,810.

After discussion with the Parks & Recreation Director, a review of the unit price lists, verification of materials, etc., it is his recommendation to award the contract to the low bidder Gerardi Construction, Incorporated, for the base bid and add alternates for a total contract amount of \$ 294,082.07.

Funding for this project includes \$150,000 of previously approved capital funds, \$75,000 of grant money from Outdoor Recreation, Parks and Trails (DNREC) grant, with the balance of \$69,000 being paid by local legislators Senator Simpson, and Representatives Kenton, Postles and Wilson.

Councilwoman Peel asked if anything other than a verbal agreement was made with the legislators. Mayor Shupe is confident in their word adding that the process has already started through their assistants and is being handled in the same manner as other projects.

Councilwoman Peel moved to award the Mispillion Greenway Upgrade ORPT #17-235-T project to the low bidder Gerardi Construction, Incorporated for the base bid and all six add alternates for a total contract amount of \$294,082.07. Motion seconded by Councilman Mergner and carried with no one opposed.

Authorization/General Fund Reserves Transfer to Enforcement and Inspections Demolition

Planning Director Pierce presented a request for an appropriation of \$23,000 from General Fund Reserves to the Enforcement and Inspections Department Demolition budget item to cover expenses associated with the demolition of 112 Southeast Front Street. Three quotes were obtained from contractors with Clark's General Contractors, Incorporated coming in with the lowest bid.

The single-family dwelling unit was condemned in May 2014 and subsequent notices sent to the property owners in 2015 and 2017. The final notice was mailed in 2017, provided the owners with four options:

- (1) arrange the demolition privately
- (2) repair the building to code and postpone demolition
- (3) appeal the determination
- (4) take no action and the City will demolish the structure.

The owners did not respond, appeal the order to demolish the property nor did they sign a restoration agreement to repair the structure. Therefore, it is the Department's desire to move forward with the demolition process.

Mr. Pierce noted that property taxes are owed on the property and the monition process was started though it would take another nine months before it was actually presented for sale. That delay could be postponed depending on the results of the tax monition sale. He reported that the City has had a great deal of recent success due to the efforts of the City's Finance Department pursuing the tax monition process.

The Planning Director's only concern is that the \$23,000 expense may not be recouped by the City in the long run. They are prepared to proceed with the demolition process, but he is also willing to wait should Council decide to wait for the results of the monition sale.

Councilman Burk pointed out the bottom of the memo states that 'since 2006, sixteen violation notices have been issued to this property owner for various code enforcement issues including weeds and tall grass, exterior structure, abandoned vehicles, rubbish and garbage and condemnation – unfit for human occupancy. Utilities have been inactive since 2014. A lien will be placed on the property for expenses associated with the demolition.'

He asked if the City mowed the grass and how much is owed on top of the \$23,000 and pointed out that if this is only a vacant lot, the City will never recoup that much. He suggested considering an appraisal to see what the lot is worth and whether it is a good move to tear it down. In addition, he asked if there is any historic significance to the home.

Gerardi Construction, Inc.

404 Jarrells Rd

Felton, DE 19943

Phone # 302-745-6252

E-mail gerardiconstructioninc@gmail.com

Proposal

Proposal Date

4/5/2019

Proposal #

316

Customer:
City of Milford 201 S. Walnut Street Milford, DE 19963 Project - ORPT#17-235-T

Job Location:
Mispillion Boardwalk

Description	Total
Work to be performed: Restore boardwalk infrastructure do to deterioration that is located on the west side of Alternate #1 bridge. Project will be broke down in 3 section. Details are as follows.	
1. Demo all joists, header beams and ledgers. Excavate soil on both sides of bridge to a grade 0'-3" below the lowest joist elevation. Excavate trenches for header beams, approx. 2'x2'x8'. Install non-woven Geotextile fabric and #57 stone at 458 SF. Install five 0'-2" SDR - PVC pipes w/ a flood valve to extend through the bulkhead. Grade soil to a 2% grade from boardwalk to the bulkhead. Install seed and erosion control matting.	13,990.40
2. Install header beams, ledgers and deck joist to existing slope.	27,900.16
3. Remove Rail / Picket sections and 6x6 posts. Install 6x6 post guide rails on deck. (Note: Installing guide rails will change the outside stringers from 2x10 to 3x10. This includes disposal of Rail/Pickets section and 6x6 posts)	5,520.00
Total	\$47,410.56

We propose hereby to furnish labor, material and equipment to complete in accordance with the above contract specification for the sum amount as indicated above. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from the above specifications involving extra costs, will be excuted only upon written orders and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. Gerardi Construction Inc, will carry the necessary insurances. A down payment is required either by quarterly or half down of the cost of project. If down payment is not made the project will not start. At completion of project it shall be paid in full. If payment is not made on completion, you the signer or company will be responsible for the finance charges of 1.5% every thirty days on contract price plus the cost of collection, including reasonable attorney fees & the other cost of collection

GERARDI CONSTRUCTION INC. SIGNATURE _____ Date _____

CUSTOMER SIGNATURE _____ Date _____



PUBLIC WORKS DEPARTMENT

180 Vickers Drive
Milford, DE 19963

PHONE 302.422.1110

FAX 302.422.1117

www.cityofmilford.com

To: Eric Norenberg, City Manager
From: Mark A. Whitfield, Public Works Director
Subject: Bayhealth Medical Center, Incorporated Fiber Lease Agreement
Date: April 22, 2019

The Public Works Department requests City Council consider a recommendation to enter into a lease with Bayhealth Medical Center Incorporated for use of the City's fiber network to connect Bayhealth Imaging and Bayhealth Dickenson to Bayhealth Sussex Campus Hospital. The lease is for a 1 year period and renews automatically. The City will receive \$90/fiber strand mile annually. The lease is similar in terms and conditions as the fiber lease with Milford School District..

A draft lease for both facilities is attached.

Recommendation: Staff recommends City Council authorize the execution of the attached lease with Bayhealth Medical Center Incorporated.



FIBER USE LICENSE AGREEMENT

This Fiber Use Agreement is made and entered into as of **April 22, 2019**, between the **City of Milford**, a Delaware municipal corporation acting on behalf of its Telecommunications and Electric Utility (Licensor), and **Bayhealth Imaging MMH-DI** (Licensee) having its principal office at Milford, DE.

RECITALS

Licensor owns certain fiber optic facilities (Licensor's Facilities) and desires to license certain unused capacity on its Milford, Delaware metropolitan area fiber optic communications network to the Licensee to enhance utilization and to obtain additional revenues.

Licensee desires to expand its system within the Milford area, and in the interests of convenience and efficiency, Licensee finds that it is prudent and economical to use space and capacity in existing facilities rather than to install additional facilities.

Licensor and Licensee believe that the interests of the public and the Parties will be well served by using some of Licensor's unused fiber optic capacity in accordance with the terms and conditions contained herein.

AGREEMENTS

NOW, THEREFORE, in consideration of the mutual covenants, agreements and undertakings contained herein, the Parties agree as follows:

Article 1: Incorporation of Recitals

The above referenced recitals are incorporated in this Agreement as if fully set forth herein.

Article 2: Grant of License

2.1. Licensor hereby grants to Licensee, a license to use fibers along Licensor's fiber optic network ("Licensed Fibers"), as identified on Exhibit A, incorporated by this reference. The Licensor retains the right to use and otherwise license additional fibers along the Licensor's fiber optic network not otherwise licensed pursuant to this Agreement.

No use of Licensor's Facilities or payment of any charges required under this License shall create or vest in Licensee any easements or other ownership of property rights of any nature in the Licensed Fibers or in Licensor's Facilities.

2.2 Technical Specifications: A detailed specification of the Licensed Fibers is contained in Exhibit B, incorporated herein.

- 2.3 Testing and Acceptance of Licensed Fibers: Licensor has performed acceptance tests to ensure that the Licensed Fibers meet the technical specifications described in Exhibit B. Licensor shall provide Licensee with written results of such tests, if required by Licensee. If the Licensed Fibers fail to meet the specifications, Licensor shall repair or substitute fibers that meet the required tests and specifications, unless Licensee otherwise accepts the original fibers. Upon receipt of test results, if required, Licensee shall accept the Licensed Fibers and such date of acceptance shall be the Acceptance Date.
- 2.4 Access Points: Licensee shall have the right to access the Licensed Fibers at the access points (“Access Points”) shown on Exhibit A, incorporated by this reference. If additional access to locations is required after initial installation, Licensee shall provide to Licensor seventy-two (72) hour notice prior to accessing the site(s). At splice location(s) where Licensor is accessing the fiber and possible disruption of licensed fiber may occur, Licensor will provide forty-eight (48) hour notice to Licensee prior to accessing the site(s).
- 2.4.1 Contractor: Licensee shall supervise its contractor (“Licensee’s Contractor”) in performing work regarding Licensee’s connection to the Licensed Fibers. The authorization of Licensee’s contractor shall be subject to Licensor’s written approval, pursuant to an approved contractor list, which approval shall not be unreasonably withheld or delayed. The Licensee’s Contractor shall strictly follow Licensor’s approved specifications and methods in the performance of any work on the Licensor’s Facilities. All costs of Licensee’s connection to any of the Licensed Fibers including splicing, placing of manholes/handholes, etc. shall be paid by Licensee. Licensor shall have right to review work done for connection to Licensed Fibers. If defects or damage is found due to Licensee’s contractor, the Licensee shall be held liable for all costs to correct damage or unsuitable work. Licensee’s Contractor is not necessarily to be considered an agent of Licensor, nor under the control and/or direction of Licensor.

Article 3: Term

- 3.1 The term of this Agreement and Licenses granted herein shall be five-years (5) from the date of the execution of this Agreement. At the end of the initial term of the agreement, Licensee shall have the right to renew this agreement for an additional 5 years at a mutually agreed to rate. The Licensor requires a minimum of 90 days written notice of cancellation of this agreement.
- 3.2 Immediately upon termination of this Agreement by the expiration of the term hereof or otherwise, Licensee shall peaceably quit and surrender the Licensed Fibers to Licensor in their original condition, with exception to reasonable wear and tear.

Article 4: Compensation

- 4.1 License Fee: Licensee shall pay to Licensor for use of the Licensed Fibers a license fee subject to adjustments as provided below.
- 4.1.1 Fees will be prorated based on the date of signing of agreement. The fee will be based on 7.51 miles at a total cost of \$16,221.60 dollars/year. Fee is calculated by lease of 2 fibers at an individual fiber cost of \$90.00 dollars per fiber/mile/month with a total ring distance of 17 (seventeen) miles.

(\$90.00 x 7.51 miles)2 fibers=\$1,351.80/month or \$16,221.60/year or \$81,108.00/5 yr.

- 4.1.2 Fees shall be paid annually, in advance, and shall be billed on the first business day of the calendar year for that year's lease at which time they will be considered due and payable.
- 4.1.3 No fees will be due until the Acceptance Date. If the Acceptance Date occurs after the beginning of a calendar year, the first year's fees shall be prorated from the Acceptance Date to December 31 of that year; however, the prorated fees shall be for that partial year only and are considered due and payable upon acceptance.
- 4.1.4 In the event of termination of this Agreement and License by the expiration of the term hereof or otherwise, Licensee shall pay a prorated portion of the fees due for the calendar year until the date of such termination. Any excess fees previously paid to Licensor shall be promptly refunded to Licensee upon termination, less any set-off for damages to the Licensed Facilities or unpaid fees and charges.
- 4.1.5 The annual fee for the Licensed Fiber will escalate based on the Dover/Milford Consumer Price Index (CPI) as published by the U.S. Department of Labor's Bureau of Labor Statistics, not to exceed 3% increase per year but not less than current year's fee.
- 4.1.6 A one-time engineering fee of \$500 (five-hundred dollars) will be charged for each splice location that Licensee accesses Licensor's fiber optic network. This fee covers only the documentation cost for this splice location. Installation costs are not included in this amount. This fee will be credited against the first years billing.
- 4.1.7 The Licensor has installed connections for Licensee, at the Licensee's request, including but limited to splices and/or materials, from the Licensed Fibers to Licensee's network. Licensee will compensate Licensor for all time and material plus ten percent (10%).
- 4.2 Ownership of Access Points: Licensee will be responsible for all cost of material and installation of access points or splice points as listed in Exhibit C. At such time installation is complete at access/splice point(s) listed in Exhibit C, Licensee shall give sole ownership of such location, including but not limited to hand hold, and splice enclosure to Licensor. Licensee shall retain ownership of designated splice tray, which contains licensed fibers, but shall not have ownership of any fibers.
- 4.3 Restoration: Licensor shall provide at no cost, monthly standby emergency restoration services for the fiber optic network. In the event of an outage requiring emergency restoration, Licensor will pay the initial amount of the emergency restoration cost with Licensee reimbursing Licensor based on prorated fiber quantities as follows. Licensor shall pay the percentage amount to restore the fiber network based on total quantity of fibers minus fibers leased to Licensee divided by total fibers. Licensee shall be responsible for the percentage of restoration costs based on the amount of fiber presently leased to them in relation to total quantity of fibers.

Article 5: Taxes, Licenses, Liens

- 5.1 During the term hereof, Licensee shall pay, when due, all taxes, including premise or property taxes, sales and use taxes, or any other fees in lieu of taxes assessed pursuant to the use of the

Licensed Fibers by Licensee, which are directly assessed on Licensee's activities involving the Licensed Fibers, as well as Licensee's use of Licensor's Facilities. Licensee shall keep Licensor's Facilities and the Licensed Fibers free from all liens, including but not limited to mechanics liens, and encumbrances by reason of the use of the Licensed Fibers by Licensee. If Licensee shall fail to pay the above-mentioned taxes, assessments, or other fees when due, Licensor shall have the right to pay the same and charge the amount thereof to Licensee, who shall pay the same upon demand, or Licensor shall have the right to terminate Fiber Lease Agreement. Licensor's right to pay the same does not change the fact that Licensee's failure to pay such is a breach of this agreement.

- 5.2 Should any such tax or taxes be levied and/or assessed, Licensor shall notify Licensee accordingly as soon as is reasonably practical. Licensor shall also provide Licensee with copies of any and all notices, bills, and other pertinent documentation. Licensee shall, within 30 days of receipt of such written notification(s), pay all such amounts.

Article 6: Licensee's Racks and Equipment

- 6.1 As additional consideration, Licensee shall have the option to install racks and equipment, at its sole expense, within Licensor's Point of Presence, located at Access Points shown on Exhibit A with prior written approval by Licensor. Point of Presence is existing locations in which the Licensor's network has termination points for the fiber. The type and location of such racks and equipment and compensation, to Licensor for such, and any other terms specific to such installations shall be agreed to in writing between the Parties in separate agreement.
- 6.2 Said racks, as well as any and all electronic equipment, as approved by the City and installed therein, shall be and remain the sole and exclusive property of Licensee, and Licensor shall neither make any claim on or claim any property interest in such equipment so long as Licensee is not in default of this Agreement, nor shall Licensor permit any lien or other encumbrance upon Licensee's, equipment by Licensee or any third party.
- 6.3 Said racks and any and all equipment placed thereon shall be installed in accordance with the technical specifications as specified in separate agreement.
- 6.4 Absent emergency situations, Licensee shall be able to access said racks and equipment during the term of the Agreement upon reasonable notice to Licensor and shall be solely responsible for their operation, maintenance and repair.
- 6.5 Upon termination of this License by the expiration of the term hereof or otherwise, Licensee shall immediately remove said racks as well as any and all electronic equipment installed thereon and shall leave the area in its original condition, reasonable wear and tear excepted.

Article 7: Maintenance

- 7.1 Licensed Fibers
- 7.1.1 Licensee agrees to pay all costs (time and material) of maintenance of the network if the required maintenance is caused by the Licensee's improper connection to the Licensed Fibers.

- 7.1.2 Licensors agree to use reasonable efforts to perform such maintenance, if required. Subject to Force Majeure, Licensor will notify Licensee to respond to outage emergencies in connection with the Licensed Fibers per restoration agreement as stated previously in Article 4. Licensor shall notify Licensee of any outages at 302-744-7196. Licensee shall notify Licensor of any outages at **(302) 422-1110**.
- 7.1.4 In the event of interruptions longer than 24 hours, Licensor will, as soon as is reasonably possible, provide alternate capacity to Licensee subject to availability within Licensor's Facilities. In the event of an interruption longer than 24 hours, Licensee shall be entitled to an abatement of its lease to be deducted from the next payment otherwise due under this agreement.
- 7.1.5 The period(s) of any interruption(s) shall be measured from the time Licensor actually receives notice, to the time the service is reported restored to the Licensor. Scheduled outages, for maintenance purposes, shall not be counted as interruptions. Scheduled outages shall be those outages of which Licensee has at least a fourteen (14)-day advance notice. The Licensor shall call Licensee at 302-744-7196 to schedule all maintenance operations and to report service interruptions.
- 7.1.6 Except in emergency situations, if the Licensor needs to repair or replace any of the Licensed Fibers to comply with the specifications stipulated in Exhibit B, the Licensor shall notify the Licensee in writing not less than fourteen (14) days prior to the time that the work will take place where the Licensee's use of the Licensed Fibers will be interrupted, and the estimated duration of the interruption. In the event of such a repair or replacement, the interruption will not be considered as one of the aforementioned interruptions. To the extent possible, Licensor and Licensee shall agree upon the times maintenance will be performed so as not to interfere with Licensee's business.
- 7.1.7 In the event of emergency situations, Licensor shall notify Licensee as soon as possible. In the event that Licensor's electrical and telecommunications service capacity and Licensee's telecommunications capacity are interrupted, restoration of Licensee's capacity shall be at all times, subordinate to restoration of Licensor's electrical and telecommunications capacity, unless otherwise previously agreed to in writing by both Parties. Should Licensor not be able to effect repairs within two hours after notice of the emergency, both parties agree to meet to determine methods to restore Licensee's fiber(s) including consideration of Licensor granting Licensee permission to make repairs to its connections or licensed fibers and to restore its capacity, as long as such restoration efforts do not interfere with Licensor's restoration activities. Both parties acknowledge that, in the event that an outage is caused by a natural disaster, weather, automobile accident or similar incident, which causes a simultaneous electrical power outage, that

the electrical power must first be restored prior to the fiber network. It is further acknowledged by the Parties that as a Municipal Electric Utility, Licensor has a duty to provide electrical services to its customers, and that provision of said electrical services shall be Licensor's top priority.

- 7.2 Access Points: Licensee, at its sole expense, shall make and maintain its Access Points, as shown on Exhibit B unless such access point has become property of Licensor. Licensee however, at its sole expense shall be responsible for any items at the access point, which do not become property of the Licensor. Access by Licensee to the Licensed Fibers for purposes of repair, maintenance, or replacement of the connections shall be in accordance with procedures approved by Licensor, it being understood that such activities shall not conflict with Licensor's rightful use and/or operation of Licensor's Facilities. In the event both Licensor's electrical and telecommunication service capacity and Licensee's telecommunications capacity are interrupted, restoration of Licensee's capacity shall be at all times subordinate to restoration of Licensor's electrical and telecommunication capacity, unless otherwise agreed in advance by both Parties. Nonetheless, Licensor shall permit Licensee to make repairs to its connections to restore its capacity, as long as such restoration efforts do not interfere with Licensor's restoration activities.

Article 8: Relocation

8.1 Licensed Fibers

- 8.1.1 Licensor shall make no changes in the location of the Licensed Fibers without sixty (60) days written notification to Licensee.
- 8.1.2 If for any reason, Licensor is required by any third party, including, but not limited to a government entity, to relocate any of the facilities used or required in providing the Licensed Fibers, Licensor shall give Licensee at least thirty (30) days, or as much time as Licensor reasonably can, prior written notice of any such relocation and Licensee shall be entitled to terminate this Agreement, without penalty, by giving at least thirty (30) days prior written notice to Licensor. If such notice does not terminate this Agreement, Licensor shall relocate the Licensed Fibers at Licensor's sole cost and expense. If Licensor desires, for any other reason, to relocate any of the facilities used or required in providing the Licensed Fibers, such relocation shall be undertaken at Licensor's sole cost and expense.

8.1.3 During relocation scheduled outages may occur. Licensor shall attempt to give Licensee at least thirty (30) days, or as much time as Licensor reasonably can, prior written notice of any such outages. Both parties acknowledge that, in the event of an outage caused by natural disaster, weather, automobile accident or similar capacity that causes a simultaneous power outage, that the power must be restored first prior to the fiber network. As a municipal electric utility, Milford has a duty to bring up electrical services as its' top priority.

8.2 Access Points

8.2.1 Licensee shall make no changes in the location or configuration of the Access Points to the Licensed Fibers without the prior written consent and approval of Licensor.

8.2.2 In the event relocation of Licensor's Facilities and Access Points is required by any third party, any governmental agency, or in conjunction with the electric system needs of Licensor, all costs associated with such required relocation of Access Points, which are not paid by a third party shall be the sole responsibility of Licensor. In the event of such relocation requirement, Licensor shall use reasonable efforts to provide alternate locations for Access Points. Licensor shall give Licensee at least thirty (30) days, or as much time as Licensor reasonably can, prior written notice of any such relocation and Licensee shall be entitled to terminate this Agreement, without penalty, by giving at least thirty (30) days prior written notice to Licensor due to relocation.

8.3 Licensor agrees that any relocation required of the Licensed Fibers or Access Points shall be limited to the shortest practical route reasonably available. After any relocation is completed, Licensee's fee shall be adjusted accordingly with regard to the length of fiber used by Licensee.

Article 9: Reclamation

9.1 Subject to the terms, conditions and limitations set forth in this agreement, Licensor shall have the right to terminate from time to time the License of any or all of the Licensed Fibers on any or all segments of the network for use (and solely for use) directly by Licensor.

9.2 In the event that Licensor desires to reclaim any Licensed Fibers, Licensor shall give notice of such intent to Licensee at least twelve (12) months prior to the date of reclamation (Reclamation Notice). The Reclamation Notice shall identify each Licensed Fiber on each segment, which Licensor desires to reclaim, and the intended date of reclamation.

9.3 At any time following receipt of a Reclamation Notice, Licensee may initiate negotiations with Licensor as to possible alternatives to reclamation, including, for example, (1) greater compression of Licensee's traffic on the fibers within the network already in use by Licensor, (2) alternate or additional optoelectronic equipment, (3) alternate routes, and/or (4) installation of

additional fibers along the network. Licensor and Licensee each shall conduct any such negotiations in good faith. The exact alternative(s) to reclamation (if any) and the allocation of the costs thereof between the parties shall be subject to mutual consent.

- 9.4 Unless otherwise agreed between Licensor and Licensee pursuant to paragraphs (9.2, 9.3) above, reclamation shall be effective on the date of reclamation set forth in the Reclamation Notice. Licensee shall be entitled to a fee adjustment with respect to the Licensed Fibers subject to the reclamation date.

Article 10: Representations and Warranties

- 10.1 Licensor represents that, to its knowledge, after due inquiry, it has the right and authority to enter into this agreement and grant the rights and Licenses contained herein.
- 10.2 Licensee represents that, to its knowledge, after due inquiry, it has all licenses, permits and rights authorizing it to enter into this Agreement.
- 10.3 Licensee is a municipally owned utility certified by the Board of Public Utilities in Delaware to provide electric and other services to Milford and some of the surrounding area.
- 10.4 Each party represents and warrants that it is duly organized, existing and in good standing under the laws of the state of its domicile; that it has the legal authority to enter into and perform its obligations hereunder and that the execution and delivery of this Agreement has been duly authorized and will not cause such party to violate the provisions of any Agreements, laws, orders, or other regulations to which such party is subject. These representations and warranties shall be ongoing during the term of this Agreement and shall survive the termination or expiration of this Agreement. Each party shall notify the other party in writing of any change in the status of the representations and warranties in this section.

Article 11: Assignment and Transfer

- 11.1 Unless specifically provided herein, each party agrees that it shall not assign, transfer or sublet any of the privileges described in this Agreement without the prior written consent of the other party, said consent not to be unreasonably withheld, provided that Licensee may assign, transfer or sublet its rights hereunder to a parent, or wholly-owned affiliate or subsidiary company or purchaser of all or substantially all of its assets or stock without consent of the Licensor.
- 11.2 Licensee will not, directly or indirectly, or through a Controlled Affiliate of Licensee, transfer or sublet any of the privileges described in this Agreement to a third party for use as Energy-Related Services.

Article 12: Indemnification

12.1 The Licensee does hereby release and agrees to indemnify, defend and save harmless the City of Milford and its agents from and against all claims, actions, causes of action, demands, judgments, costs, expenses and all damages of every kind and nature, incurred by or on behalf of any person or corporation whatsoever, predicated upon injury to or death of any person or loss of or damage to property of whatever ownership, including the parties to this Agreement and their employees, and arising out of or connected with, in any manner, directly or indirectly, the Licensee's operations or rights granted under this License.

Article 13: Insurance

13.1 Licensee agrees to execute and deliver to Licensor at the time of acceptance and execution of this Agreement a commercial general liability insurance policy, including public liability, contractual liability, premises liability, and property damage, acceptable to and approved by the City Risk Manager, covering bodily injury and property damage, premises, operations described hereunder and products therein, in amounts of \$1,000,000 per individual; \$2,000,000 per occurrence.

13.2 The City of Milford shall be listed as a loss payee in any required liability insurance policy.

13.3 Certified copies of the above policy, or a certificate evidencing the existence thereof, or a binder shall be delivered to the Licensor upon the execution of this Agreement. In the event a binder is delivered, it shall be replaced within ten days by a certificate of insurance. Each such policy or certificate shall contain a valid provision or endorsement that the policy may not be canceled, terminated, changed or modified without giving thirty days written notice thereof to Licensor.

13.4 A renewal certificate shall be delivered to Licensor at least fifteen days prior to a policy's expiration date except for any policy expiring on or after the expiration date of this Agreement.

13.5 Licensee further shall at all times maintain adequate Workmen's Compensation Insurance with an authorized insurance company insuring the payment of compensation to all employees engaged in the operation of the facility.

- 13.6 Failure to maintain or provide proof of insurance shall constitute an immediate breach of this Agreement and shall be considered cause for termination of this Agreement at the sole discretion of Licensor.
- 13.7 At all times during the term of this Agreement, Licensee shall maintain and shall require its contractor and subcontractors, which do any work in connection with this Agreement, to maintain insurance coverage as described herein and will produce proof of insurance on demand by Licensor.
- 13.8 Excess liability/umbrella coverage for limits of not less than \$1,000,000 excess of \$1,000,000 each occurrence. Such insurance shall name Licensor, its officers, agents, and employees as additional insured.
- 13.9 Licensee shall provide Licensor with proof of such insurance coverage in the form of a Certificate of Insurance prior to acceptance of the Licensed Fibers, and such insurance policies shall provide that Licensor shall receive not less than thirty (30) days written notice prior to the cancellation or reduction in coverage of such insurance.
- 13.10 In the event Licensee fails to obtain the required insurance, Licensor reserves the right to purchase insurance on the account of Licensee, but is not required to do so.

Article 14: Default

- 14.1 In the event either Party shall fail to observe or perform any of the terms and provisions of this Agreement and such failure shall continue for a period of thirty (30) days after receipt of written notice from the non-defaulting party ("Default"), then the non-defaulting party may terminate this Agreement, provided however, that where such Default cannot reasonably be cured within such period, and the defaulting party has proceeded promptly to cure the same and is prosecuting such cure with diligence, the time for curing such Default shall be extended for an amount of time, not to exceed sixty (60) days, as may be necessary under the circumstances to complete such cure.

Article 15: Termination

Licensor may, at its sole discretion, terminate this License upon the conditions set forth for cause and at its discretion.

- 15.1 For Cause, Without Illegality. Licensor may terminate this Agreement and may repossess the Licensed Fibers in the event that any payment or amount is not furnished the Licensor as set forth in Article 4 hereof, when due, upon giving fifteen days written notice to the Licensee of the Licensor's intention to terminate unless full and proper payment is made to the Licensor of all monies due on or before the expiration of the fifteen day period indicated in the notice. In like manner, upon thirty days written notice, the Licensor may terminate the License Agreement in the event any of the other terms of this Agreement other than involving violation of any penal law, have been violated, unless Licensee has fully rectified any such failure to conform to the conditions of the Agreement within such period.
- 15.2 For Cause, With Illegality. The Licensor may, at its sole discretion, terminate this License Agreement, effective immediately, upon the giving of written notice of termination, in the event that Licensee engages

in, or permits, the violation, pursuant to the appropriate standard of proof provided by law, of any federal, state or city penal law or ordinance in the operation of said facility.

- 15.3 Surrender of Licensed Fibers Upon Termination On the License Expiration Date or any earlier termination of Licensee's rights to use any or all of the licensed fibers under this agreement, regardless of the reason for termination, Licensee shall promptly (1) remove all of its equipment and other property from Licensor's premises, and (2) peaceably quit and surrender the licensed fibers to Licensor in a condition consistent with condition of fiber and access points on the original acceptance date of this Agreement.
- 15.4 This Agreement may be terminated by either party upon written notice to the other party, effective immediately, if the other party has become insolvent, has filed for bankruptcy, or has been debarred or excluded from participating in state or federal health care programs or procurement programs or the City of Milford's loss of licensure of the fiber optic system by the Federal Communications Commission utilized by Bayhealth Imaging MMH-DI under this Agreement.

Article 16: Renewal Provisions

- 16.1 Licensee shall provide ninety (90) days written notice of intent to renew Fiber Use Lease Agreement prior to date of expiration of current Agreement.

Article 17: General Provisions

- 17.1 Confidentiality If either Party provides confidential information to the other in writing and is identified as such, the receiving Party shall protect the confidential information from disclosure to third parties with the same degree of care afforded its own confidential and proprietary information. Neither Party shall, however, be required to hold confidential any information which becomes publicly available other than through the recipient, which is required to be disclosed by a governmental or judicial order, by statute, is independently developed by the receiving Party or which becomes available to the receiving Party or which becomes available to the receiving party without known restrictions from a third party.
- 17.2 Costs Except as otherwise expressly provided above, each party shall bear all of its own attorney's fees and other expenses related to this Agreement.
- 17.3 No Third Party Beneficiaries. None of the terms or conditions in this Agreement shall give or allow any claim, benefit, or right of action by any third person not a party hereto. Any person other than the City or the Licensee receiving services or benefits under this Agreement shall be only an incidental beneficiary.
- 17.4 No Partnership. The Parties acknowledge and agree that this Agreement does not create a partnership between, or a joint venture of, Licensor and Licensee. Nothing in this Agreement shall be construed to authorize either Party to represent the other Party for any purpose whatsoever without the prior written consent of such party.

- 17.5 Binding Effect. This Agreement shall be binding upon, and shall inure to the benefit of, the parties hereto and their respective successors and assigns.
- 17.6 Governing Law. This Agreement shall be governed by and construed in accordance with the laws of the State of Delaware without giving effect to the principles of conflicts of laws. The courts located in the State of Delaware in the counties of Kent or Sussex shall have exclusive jurisdiction over all matters arising out of or relating to this Agreement. Each party waives, to the fullest extent permitted by law, any objection that it may now or later have to the laying of venue of any legal or equitable action or proceeding arising out of or relating to this Agreement brought in any such court, or any claim that any action or proceeding brought in any such court has been brought in an inconvenient forum.
- 17.7 Severability. In the event any term, covenant or condition of this Agreement, or the application of such term covenant or condition, shall be held invalid as to any person or circumstance by any court having jurisdiction, all other terms, covenants and conditions of this Agreement and their application shall not be affected thereby, but shall remain in force and effect unless a court holds that the invalid term, covenant or condition is not separable from all other terms covenants and conditions of Agreement.
- 17.8 Force Majeure. Neither Party shall be liable to the other for any failure of performance under this Agreement due to causes beyond its control, including, but not limited to: acts of God, fire, flood or other catastrophes, adverse weather conditions, material or facility shortages or unavailability not resulting from such party's failure to timely place orders therefore, lack of transportation, the imposition of any governmental codes, ordinances, laws, rules, regulations or restrictions, national emergencies, insurrections, riots, wars, or strikes, lock-outs, work stoppages or other labor difficulties.
- 17.9 Waiver. No delay or omission by either party to exercise any right or power occurring upon non-compliance or failure of performance by the other Party shall impair that right or power or be construed to be a waiver thereof. A waiver by either Party of any of the covenants, conditions or agreements to be performed by the other Party shall not be construed to be a general waiver of any such covenants, conditions or agreements, but the same shall be and remain at all times in full force and effect.
- 17.10 Headings. The Article headings herein are for convenience and reference only, and in no way define or limit the scope and content of this Agreement or in any way affect its provisions.
- 17.11 Notices. All notices, requests or other communications (other than those normally required during the installation process) under this Agreement or required by law shall be in writing and shall be hand-delivered, sent by overnight delivery service, mailed by first-class, registered or certified mail, postage prepaid and return receipt requested, or transmitted by telegram or facsimile, addressed as follows:
201 S. Walnut Street, Milford, DE 19963 ATTN: City Clerk and Bayhealth Medical Center, Inc., 640 S. State Street, Dover, DE 19901 ATTN: Chief Information Officer.
- 17.12 No Implied Representations. No representations, agreements, covenants, warranties, or certifications, express or implied, shall exist as between the parties, except as specifically set forth in this Agreement.

License Agreement by and between
City of Milford and Bayhealth Imaging MMH-DI

- 17.13 Integrated Agreement and Amendments. This Agreement is an integration of the entire understanding of the parties with respect to the matters set forth herein and supersedes any and all prior negotiations, understandings and agreements, whether oral or written. The parties shall only amend this Agreement in writing with the proper official signatures attached thereto.
- 17.14 During the term of this agreement, Licensee will have the opportunity to reexamine lease costs to determine if rates for Licensee are similar to other non-governmental or non-profit companies utilizing leased fiber. The examination and the modification of lease rate is based on Licensee providing documentation to prove that both Licensee and other party are providing like services to the City over the leased fiber. Licensor will have the right for review and adjustment of rate.
- 17.15 Both Licensor and Licensee are willing to proceed with further negotiations on additional fiber build outs.
- 17.16 Survival. The expiration or termination of the Agreement will not affect any right or obligation that either party may have accrued pursuant to the terms and conditions of this Agreement prior to such expiration or termination. Including, without limitation, provisions for indemnification, confidentiality, and the making of payments due hereunder.
- 17.17 Access to Books and Records. The parties agree to comply with the provisions of 42 C.F.R. Section 420.300, as applicable.
- 17.18 Compliance with Laws. Each party, shall comply, at its own cost and expense, with the provisions of all federal, state, county and municipal laws, ordinances, regulations and orders.)
- 17.19 The City of Milford agrees to register as a vendor in the government sponsored Federal Communications Commission (FCC) Healthcare Connect Fund (HCF) Program. This will allow Bayhealth Medical Center to receive the subsidies associated with this program with no financial impact to the City of Milford.
- 17.20 Any reference to “days” herein shall be considered calendar days.

[SIGNATURE PAGE TO FOLLOW]

License Agreement by and between
City of Milford and **Bayhealth Imaging MMH-DI**

Signed, sealed and delivered in the presence of:

BAYHEALTH IMAGING MMH-DI

Attest

Printed Name

Title

Sworn to and subscribed before me this _____ of _____, 2019.

NOTARY PUBLIC

COMMISSION EXPIRATION DATE

CITY OF MILFORD

Attest/City Clerk

Printed Name

Title

Sworn to and subscribed before me this _____ of _____, 2019.

License Agreement by and between
City of Milford and ***Bayhealth Imaging MMH-DI***

NOTARY PUBLIC

COMMISSION EXPIRATION DATE



FIBER USE LICENSE AGREEMENT

This Fiber Use Agreement is made and entered into as of **April 22, 2019**, between the **City of Milford**, a Delaware municipal corporation acting on behalf of its Telecommunications and Electric Utility (Licensor), and **Bayhealth Dickinson** (Licensee) having its principal office at Milford, DE.

RECITALS

Licensor owns certain fiber optic facilities (Licensor's Facilities) and desires to license certain unused capacity on its Milford, Delaware metropolitan area fiber optic communications network to the Licensee to enhance utilization and to obtain additional revenues.

Licensee desires to expand its system within the Milford area, and in the interests of convenience and efficiency, Licensee finds that it is prudent and economical to use space and capacity in existing facilities rather than to install additional facilities.

Licensor and Licensee believe that the interests of the public and the Parties will be well served by using some of Licensor's unused fiber optic capacity in accordance with the terms and conditions contained herein.

AGREEMENTS

NOW, THEREFORE, in consideration of the mutual covenants, agreements and undertakings contained herein, the Parties agree as follows:

Article 1: Incorporation of Recitals

The above referenced recitals are incorporated in this Agreement as if fully set forth herein.

Article 2: Grant of License

2.1 Licensor hereby grants to Licensee, a license to use fibers along Licensor's fiber optic network ("Licensed Fibers"), as identified on Exhibit A, incorporated by this reference. The Licensor retains the right to use and otherwise license additional fibers along the Licensor's fiber optic network not otherwise licensed pursuant to this Agreement.

No use of Licensor's Facilities or payment of any charges required under this License shall create or vest in Licensee any easements or other ownership of property rights of any nature in the Licensed Fibers or in Licensor's Facilities.

- 2.2 Technical Specifications: A detailed specification of the Licensed Fibers is contained in Exhibit B, incorporated herein.
- 2.3 Testing and Acceptance of Licensed Fibers: Licensor has performed acceptance tests to ensure that the Licensed Fibers meet the technical specifications described in Exhibit B. Licensor shall provide Licensee with written results of such tests, if required by Licensee. If the Licensed Fibers fail to meet the specifications, Licensor shall repair or substitute fibers that meet the required tests and specifications, unless Licensee otherwise accepts the original fibers. Upon receipt of test results, if required, Licensee shall accept the Licensed Fibers and such date of acceptance shall be the Acceptance Date.
- 2.4 Access Points: Licensee shall have the right to access the Licensed Fibers at the access points ("Access Points") shown on Exhibit A, incorporated by this reference. If additional access to locations is required after initial installation, Licensee shall provide to Licensor seventy-two (72) hour notice prior to accessing the site(s). At splice location(s) where Licensor is accessing the fiber and possible disruption of licensed fiber may occur, Licensor will provide forty-eight (48) hour notice to Licensee prior to accessing the site(s).
- 2.5 Contractor: Licensee shall supervise its contractor ("Licensee's Contractor") in performing work regarding Licensee's connection to the Licensed Fibers. The authorization of Licensee's contractor shall be subject to Licensor's written approval, pursuant to an approved contractor list, which approval shall not be unreasonably withheld or delayed. The Licensee's Contractor shall strictly follow Licensor's approved specifications and methods in the performance of any work on the Licensor's Facilities. All costs of Licensee's connection to any of the Licensed Fibers including splicing, placing of manholes/handholes, etc. shall be paid by Licensee. Licensor shall have right to review work done for connection to Licensed Fibers. If defects or damage is found due to Licensee's contractor, the Licensee shall be held liable for all costs to correct damage or unsuitable work. Licensee's Contractor is not necessarily to be considered an agent of Licensor, nor under the control and/or direction of Licensor.

Article 3: Term

- 3.1 The term of this Agreement and Licenses granted herein shall be five-years (5) from the date of the execution of this Agreement. At the end of the initial term of the agreement, Licensee shall have the right to renew this agreement for an additional 5 years at a mutually agreed to rate. The Licensor requires a minimum of 90 days written notice of cancellation of this agreement.
- 3.2 Immediately upon termination of this Agreement by the expiration of the term hereof or otherwise, Licensee shall peaceably quit and surrender the Licensed Fibers to Licensor in their original condition, with exception to reasonable wear and tear.

Article 4: Compensation

- 4.1 License Fee: Licensee shall pay to Licensor for use of the Licensed Fibers a license fee subject to adjustments as provided below.
- 4.1.1 Fees will be prorated based on the date of signing of agreement. The fee will be based on 6.31 miles at a total cost of \$13,629.60 dollars/year. Fee is calculated by lease of 2 fibers at an individual fiber cost of \$90.00 dollars per fiber/mile/month with a total ring distance of 17 (seventeen) miles.

\$90.00 x 6.31 miles)2 fibers=\$1135.80/month or \$13,629.60/year or \$68,148.00/5 yr.

- 4.1.2 Fees shall be paid annually, in advance, and shall be billed on the first business day of the calendar year for that year's lease at which time they will be considered due and payable.
 - 4.1.3 No fees will be due until the Acceptance Date. If the Acceptance Date occurs after the beginning of a calendar year, the first year's fees shall be prorated from the Acceptance Date to December 31 of that year; however, the prorated fees shall be for that partial year only and are considered due and payable upon acceptance.
 - 4.1.4 In the event of termination of this Agreement and License by the expiration of the term hereof or otherwise, Licensee shall pay a prorated portion of the fees due for the calendar year until the date of such termination. Any excess fees previously paid to Licensor shall be promptly refunded to Licensee upon termination, less any set-off for damages to the Licensed Facilities or unpaid fees and charges.
 - 4.1.5 The annual fee for the Licensed Fiber will escalate based on the Dover/Milford Consumer Price Index (CPI) as published by the U.S. Department of Labor's Bureau of Labor Statistics, not to exceed 3% increase per year but not less than current year's fee.
 - 4.1.6 A one-time engineering fee of \$500 (five-hundred dollars) will be charged for each splice location that Licensee accesses Licensor's fiber optic network. This fee covers only the documentation cost for this splice location. Installation costs are not included in this amount. This fee will be credited against the first years billing.
 - 4.1.7 The Licensor has installed connections for Licensee, at the Licensee's request, including but limited to splices and/or materials, from the Licensed Fibers to Licensee's network. Licensee will compensate Licensor for all time and material plus ten percent (10%).
- 4.2 Ownership of Access Points: Licensee will be responsible for all cost of material and installation of access points or splice points as listed in Exhibit C. At such time installation is complete at access/splice point(s) listed in Exhibit C, Licensee shall give sole ownership of such location, including but not limited to hand hold, and splice enclosure to Licensor. Licensee shall retain ownership of designated splice tray, which contains licensed fibers, but shall not have ownership of any fibers.
- 4.3 Restoration: Licensor shall provide at no cost, monthly standby emergency restoration services for the fiber optic network. In the event of an outage requiring emergency restoration, Licensor will pay the initial amount of the emergency restoration cost with Licensee reimbursing Licensor based on prorated fiber quantities as follows. Licensor shall pay the percentage amount to restore the fiber network based on total quantity of fibers minus fibers leased to Licensee divided by total fibers. Licensee shall be responsible for the percentage of restoration costs based on the amount of fiber presently leased to them in relation to total quantity of fibers.

Article 5: Taxes, Licenses, Liens

- 5.1 During the term hereof, Licensee shall pay, when due, all taxes, including premise or property taxes, sales and use taxes, or any other fees in lieu of taxes assessed pursuant to the use of the Licensed Fibers by Licensee, which are directly assessed on Licensee's activities involving the

Licensed Fibers, as well as Licensee's use of Licensor's Facilities. Licensee shall keep Licensor's Facilities and the Licensed Fibers free from all liens, including but not limited to mechanics liens, and encumbrances by reason of the use of the Licensed Fibers by Licensee. If Licensee shall fail to pay the above-mentioned taxes, assessments, or other fees when due, Licensor shall have the right to pay the same and charge the amount thereof to Licensee, who shall pay the same upon demand, or Licensor shall have the right to terminate Fiber Lease Agreement. Licensor's right to pay the same does not change the fact that Licensee's failure to pay such is a breach of this agreement.

- 5.2 Should any such tax or taxes be levied and/or assessed, Licensor shall notify Licensee accordingly as soon as is reasonably practical. Licensor shall also provide Licensee with copies of any and all notices, bills, and other pertinent documentation. Licensee shall, within 30 days of receipt of such written notification(s), pay all such amounts.

Article 6: Licensee's Racks and Equipment

- 6.1 As additional consideration, Licensee shall have the option to install racks and equipment, at its sole expense, within Licensor's Point of Presence, located at Access Points shown on Exhibit A with prior written approval by Licensor. Point of Presence is existing locations in which the Licensor's network has termination points for the fiber. The type and location of such racks and equipment and compensation, to Licensor for such, and any other terms specific to such installations shall be agreed to in writing between the Parties in separate agreement.
- 6.2 Said racks, as well as any and all electronic equipment, as approved by the City and installed therein, shall be and remain the sole and exclusive property of Licensee, and Licensor shall neither make any claim on or claim any property interest in such equipment so long as Licensee is not in default of this Agreement, nor shall Licensor permit any lien or other encumbrance upon Licensee's, equipment by Licensee or any third party.
- 6.3 Said racks and any and all equipment placed thereon shall be installed in accordance with the technical specifications as specified in separate agreement.
- 6.4 Absent emergency situations, Licensee shall be able to access said racks and equipment during the term of the Agreement upon reasonable notice to Licensor and shall be solely responsible for their operation, maintenance and repair.
- 6.5 Upon termination of this License by the expiration of the term hereof or otherwise, Licensee shall immediately remove said racks as well as any and all electronic equipment installed thereon and shall leave the area in its original condition, reasonable wear and tear excepted.

Article 7: Maintenance

- 7.1 Licensed Fibers
- 7.1.1 Licensee agrees to pay all costs (time and material) of maintenance of the network if the required maintenance is caused by the Licensee's improper connection to the Licensed Fibers.
- 7.1.2 Licensor agrees to use reasonable efforts to perform such maintenance, if required. Subject to Force Majeure, Licensor will notify Licensee to respond to outage emergencies in connection with the Licensed Fibers per restoration agreement as stated

previously in Article 4. Licensor shall notify Licensee of any outages at 302-744-7196. Licensee shall notify Licensor of any outages at **(302) 422-1110**.

- 7.1.3 In the event of interruptions longer than 24 hours, Licensor will, as soon as is reasonably possible, provide alternate capacity to Licensee subject to availability within Licensor's Facilities. In the event of an interruption longer than 24 hours, Licensee shall be entitled to an abatement of its lease to be deducted from the next payment otherwise due under this agreement.
- 7.1.4 The period(s) of any interruption(s) shall be measured from the time Licensor actually receives notice, to the time the service is reported restored to the Licensor. Scheduled outages, for maintenance purposes, shall not be counted as interruptions. Scheduled outages shall be those outages of which Licensee has at least a fourteen (14) day advance notice. The Licensor shall call Licensee at 302-744-7196 to schedule all maintenance operations and to report service interruptions.
- 7.1.5 Except in emergency situations, if the Licensor needs to repair or replace any of the Licensed Fibers to comply with the specifications stipulated in Exhibit B, the Licensor shall notify the Licensee in writing not less than fourteen (14) days prior to the time that the work will take place where the Licensee's use of the Licensed Fibers will be interrupted, and the estimated duration of the interruption. In the event of such a repair or replacement, the interruption will not be considered as one of the aforementioned interruptions. To the extent possible, Licensor and Licensee shall agree upon the times maintenance will be performed so as not to interfere with Licensee's business.
- 7.1.6 In the event of emergency situations, Licensor shall notify Licensee as soon as possible. In the event that Licensor's electrical and telecommunications service capacity and Licensee's telecommunications capacity are interrupted, restoration of Licensee's capacity shall be at all times, subordinate to restoration of Licensor's electrical and telecommunications capacity, unless otherwise previously agreed to in writing by both Parties. Should Licensor not be able to effect repairs within two hours after notice of the emergency, both parties agree to meet to determine methods to restore Licensee's fiber(s) including consideration of Licensor granting Licensee permission to make repairs to its connections or licensed fibers and to restore its capacity, as long as such restoration efforts do not interfere with Licensor's restoration activities. Both parties acknowledge that, in the event that an outage is caused by a natural disaster, weather, automobile accident or similar incident, which causes a simultaneous electrical power outage, that the electrical power must first be restored prior to the fiber network. It is further acknowledged by the Parties that as a Municipal Electric Utility, Licensor has a duty to provide electrical services to its customers, and that provision of said electrical services shall be Licensor's top priority.
- 7.2 Access Points: Licensee, at its sole expense, shall make and maintain its Access Points, as shown on Exhibit B unless such access point has become property of Licensor. Licensee however, at its sole expense shall be responsible for any items at the access point, which do not become property of the Licensor. Access by Licensee to the Licensed Fibers for purposes of repair, maintenance, or replacement of the connections shall be in accordance with procedures approved by Licensor, it being understood that such activities shall not conflict with Licensor's

rightful use and/or operation of Licensor's Facilities. In the event both Licensor's electrical and telecommunication service capacity and Licensee's telecommunications capacity are interrupted, restoration of Licensee's capacity shall be at all times subordinate to restoration of Licensor's electrical and telecommunication capacity, unless otherwise agreed in advance by both Parties. Nonetheless, Licensor shall permit Licensee to make repairs to its connections to restore its capacity, as long as such restoration efforts do not interfere with Licensor's restoration activities.

Article 8: Relocation

8.1 Licensed Fibers

8.1.1 Licensor shall make no changes in the location of the Licensed Fibers without sixty (60) days written notification to Licensee.

8.1.2 If for any reason, Licensor is required by any third party, including, but not limited to a government entity, to relocate any of the facilities used or required in providing the Licensed Fibers, Licensor shall give Licensee at least thirty (30) days, or as much time as Licensor reasonably can, prior written notice of any such relocation and Licensee shall be entitled to terminate this Agreement, without penalty, by giving at least thirty (30) days prior written notice to Licensor. If such notice does not terminate this Agreement, Licensor shall relocate the Licensed Fibers at Licensor's sole cost and expense. If Licensor desires, for any other reason, to relocate any of the facilities used or required in providing the Licensed Fibers, such relocation shall be undertaken at Licensor's sole cost and expense.

8.1.3 During relocation scheduled outages may occur. Licensor shall attempt to give Licensee at least thirty (30) days, or as much time as Licensor reasonably can, prior written notice of any such outages. Both parties acknowledge that, in the event of an outage caused by natural disaster, weather, automobile accident or similar capacity that causes a simultaneous power outage, that the power must be restored first prior to the fiber network. As a municipal electric utility, Milford has a duty to bring up electrical services as its' top priority.

8.2 Access Points

8.2.1 Licensee shall make no changes in the location or configuration of the Access Points to the Licensed Fibers without the prior written consent and approval of Licensor.

8.2.2 In the event relocation of Licensor's Facilities and Access Points is required by any third party, any governmental agency, or in conjunction with the electric system needs of Licensor, all costs associated with such required relocation of Access Points, which are not paid by a third party shall be the sole responsibility of Licensor. In the event of such relocation requirement, Licensor shall use reasonable efforts to provide alternate locations for Access Points. Licensor shall give Licensee at least thirty (30) days, or as much time as Licensor reasonably can, prior written notice of any such relocation and Licensee shall be entitled to terminate this Agreement, without penalty, by giving at least thirty (30) days prior written notice to Licensor due to relocation.

8.3 Licensor agrees that any relocation required of the Licensed Fibers or Access Points shall be

limited to the shortest practical route reasonably available. After any relocation is completed, Licensee's fee shall be adjusted accordingly with regard to the length of fiber used by Licensee.

Article 9: Reclamation

- 9.1 Subject to the terms, conditions and limitations set forth in this agreement, Licensor shall have the right to terminate from time to time the License of any or all of the Licensed Fibers on any or all segments of the network for use (and solely for use) directly by Licensor.
- 9.2 In the event that Licensor desires to reclaim any Licensed Fibers, Licensor shall give notice of such intent to Licensee at least twelve (12) months prior to the date of reclamation (Reclamation Notice). The Reclamation Notice shall identify each Licensed Fiber on each segment, which Licensor desires to reclaim, and the intended date of reclamation.
- 9.3 At any time following receipt of a Reclamation Notice, Licensee may initiate negotiations with Licensor as to possible alternatives to reclamation, including, for example, (1) greater compression of Licensee's traffic on the fibers within the network already in use by Licensor, (2) alternate or additional optoelectronic equipment, (3) alternate routes, and/or (4) installation of additional fibers along the network. Licensor and Licensee each shall conduct any such negotiations in good faith. The exact alternative(s) to reclamation (if any) and the allocation of the costs thereof between the parties shall be subject to mutual consent.
- 9.4 Unless otherwise agreed between Licensor and Licensee pursuant to paragraphs (9.2, 9.3) above, reclamation shall be effective on the date of reclamation set forth in the Reclamation Notice. Licensee shall be entitled to a fee adjustment with respect to the Licensed Fibers subject to the reclamation date.

Article 10: Representations and Warranties

- 10.1 Licensor represents that, to its knowledge, after due inquiry, it has the right and authority to enter into this agreement and grant the rights and Licenses contained herein.
- 10.2 Licensee represents that, to its knowledge, after due inquiry, it has all licenses, permits and rights authorizing it to enter into this Agreement.
- 10.3 Licensor is a municipally owned utility certified by the Board of Public Utilities in Delaware to provide electric and other services to Milford and some of the surrounding area.
- 10.4 Each party represents and warrants that it is duly organized, existing and in good standing under the laws of the state of its domicile; that it has the legal authority to enter into and perform its obligations hereunder and that the execution and delivery of this Agreement has been duly authorized and will not cause such party to violate the provisions of any Agreements, laws, orders, or other regulations to which such party is subject. These representations and warranties shall be ongoing during the term of this Agreement and shall survive the termination or expiration of this Agreement. Each party shall notify the other party in writing of any change in the status of the representations and warranties in this section.

Article 11: Assignment and Transfer

- 11.1 Unless specifically provided herein, each party agrees that it shall not assign, transfer or sublet

any of the privileges described in this Agreement without the prior written consent of the other party, said consent not to be unreasonably withheld, provided that Licensee may assign, transfer or sublet its rights hereunder to a parent, or wholly-owned affiliate or subsidiary company or purchaser of all or substantially all of its assets or stock without consent of the Licensor.

- 11.2 Licensee will not, directly or indirectly, or through a Controlled Affiliate of Licensee, transfer or sublet any of the privileges described in this Agreement to a third party for use as Energy-Related Services.

Article 12: Indemnification

- 12.1 The Licensee does hereby release and agrees to indemnify, defend and save harmless the City of Milford and its agents from and against all claims, actions, causes of action, demands, judgments, costs, expenses and all damages of every kind and nature, incurred by or on behalf of any person or corporation whatsoever, predicated upon injury to or death of any person or loss of or damage to property of whatever ownership, including the parties to this Agreement and their employees, and arising out of or connected with, in any manner, directly or indirectly, the Licensee's operations or rights granted under this License.

Article 13: Insurance

- 13.1 Licensee agrees to execute and deliver to Licensor at the time of acceptance and execution of this Agreement a commercial general liability insurance policy, including public liability, contractual liability, premises liability, and property damage, acceptable to and approved by the City Risk Manager, covering bodily injury and property damage, premises, operations described hereunder and products therein, in amounts of \$1,000,000 per individual; \$2,000,000 per occurrence.
- 13.2 The City of Milford shall be listed as a loss payee in any required liability insurance policy. Milford shall be listed as a loss payee in any liability insurance policy.
- 13.3 Certified copies of the above policy, or a certificate evidencing the existence thereof, or a binder shall be delivered to the Licensor upon the execution of this Agreement. In the event a binder is delivered, it shall be replaced within ten days by a certificate of insurance. Each such policy or certificate shall contain a valid provision or endorsement that the policy may not be canceled, terminated, changed or modified without giving thirty days written notice thereof to Licensor.
- 13.4 A renewal certificate shall be delivered to Licensor at least fifteen days prior to a policy's expiration date except for any policy expiring on or after the expiration date of this Agreement.
- 13.5 Licensee further shall at all times maintain adequate Workmen's Compensation Insurance with an authorized insurance company insuring the payment of compensation to all employees engaged in the operation of the facility.
- 13.6 Failure to maintain or provide proof of insurance shall constitute an immediate breach of this Agreement and shall be considered cause for termination of this Agreement at the sole discretion of Licensor.
- 13.7 At all times during the term of this Agreement, Licensee shall maintain and shall require its

contractor and subcontractors, which do any work in connection with this Agreement, to maintain insurance coverage as described herein and will produce proof of insurance on demand by Licensor.

- 13.8 Excess liability/umbrella coverage for limits of not less than \$1,000,000 excess of \$1,000,000 each occurrence. Such insurance shall name Licensor, its officers, agents, and employees as additional insured.
- 13.9 Licensee shall provide Licensor with proof of such insurance coverage in the form of a Certificate of Insurance prior to acceptance of the Licensed Fibers, and such insurance policies shall provide that Licensor shall receive not less than thirty (30) days written notice prior to the cancellation or reduction in coverage of such insurance.
- 13.10 In the event the Licensee fails to obtain the required insurance, Licensor reserves the right to purchase insurance on the account of the Licensee, but is not required to do so.

Article 14: Default

- 14.1 In the event either Party shall fail to observe or perform any of the terms and provisions of this Agreement and such failure shall continue for a period of thirty (30) days after receipt of written notice from the non-defaulting party (“Default”), then the non-defaulting party may terminate this Agreement, provided however, that where such Default cannot reasonably be cured within such period, and the defaulting party has proceeded promptly to cure the same and is prosecuting such cure with diligence, the time for curing such Default shall be extended for an amount of time, not to exceed sixty (60) days, as may be necessary under the circumstances to complete such cure.

Article 15: Termination

Licensor may, at its sole discretion, terminate this License upon the conditions set forth for cause and at its discretion.

- 15.1 For Cause, Without Illegality. Licensor may terminate this Agreement and may repossess the Licensed Fibers in the event that any payment or amount is not furnished the Licensor as set forth in Article 4 hereof, when due, upon giving fifteen days written notice to the Licensee of the Licensor's intention to terminate unless full and proper payment is made to the Licensor of all monies due on or before the expiration of the fifteen day period indicated in the notice. In like manner, upon thirty days written notice, the Licensor may terminate the License Agreement in the event any of the other terms of this Agreement other than involving violation of any penal law, have been violated, unless Licensee has fully rectified any such failure to conform to the conditions of the Agreement within such period.
- 15.2 For Cause, With Illegality. The Licensor may, at its sole discretion, terminate this License Agreement, effective immediately, upon the giving of written notice of termination, in the event that Licensee engages in, or permits, the violation, pursuant to the appropriate standard of proof provided by law, of any federal, state or city penal law or ordinance in the operation of said facility.
- 15.3 Surrender of Licensed Fibers Upon Termination. On the License Expiration Date or any earlier termination of Licensee’s rights to use any or all of the licensed fibers under this agreement,

regardless of the reason for termination, Licensee shall promptly (1) remove all of its equipment and other property from Licensor's premises, and (2) peaceably quit and surrender the licensed fibers to Licensor in a condition consistent with condition of fiber and access points on the original acceptance date of this Agreement.

- 15.4 This Agreement may be terminated by either party upon written notice to the other party, effective immediately, if the other party has become insolvent, has filed for bankruptcy, or has been debarred or excluded from participating in state or federal health care programs or procurement programs or the City of Milford's loss of licensure of the fiber optic system by the Federal Communications Commission utilized by Bayhealth Dickinson under this Agreement.

Article 16: Renewal Provisions

- 16.1 Licensee shall provide ninety (90) days written notice of intent to renew Fiber Use Lease Agreement prior to date of expiration of current Agreement.

Article 17: General Provisions

- 17.1 Confidentiality. If either Party provides confidential information to the other in writing and is identified as such, the receiving Party shall protect the confidential information from disclosure to third parties with the same degree of care afforded its own confidential and proprietary information. Neither Party shall, however, be required to hold confidential any information which becomes publicly available other than through the recipient, which is required to be disclosed by a governmental or judicial order, by statute, is independently developed by the receiving Party or which becomes available to the receiving Party or which becomes available to the receiving party without known restrictions from a third party.
- 17.2 Costs. Except as otherwise expressly provided above, each party shall bear all of its own attorney's fees and other expenses related to this Agreement.
- 17.3 No Third Party Beneficiaries. None of the terms or conditions in this Agreement shall give or allow any claim, benefit, or right of action by any third person not a party hereto. Any person other than the City or the Licensee receiving services or benefits under this Agreement shall be only an incidental beneficiary.
- 17.4 No Partnership. The Parties acknowledge and agree that this Agreement does not create a partnership between, or a joint venture of, Licensor and Licensee. Nothing in this Agreement shall be construed to authorize either Party to represent the other Party for any purpose whatsoever without the prior written consent of such party.
- 17.5 Binding Effect. This Agreement shall be binding upon, and shall inure to the benefit of, the parties hereto and their respective successors and assigns.
- 17.6 Governing Law. This Agreement shall be governed by and construed in accordance with the laws of the State of Delaware without giving effect to the principles of conflicts of laws. The courts located in the State of Delaware, in either Kent or Sussex County, shall have exclusive jurisdiction over all matters arising out of or relating to this Agreement. Each party waives, to the fullest extent permitted by law, any objection that it may now or later have to the laying of venue of any legal or equitable action or proceeding arising out of or relating to this Agreement

brought in any such court, or any claim that any action or proceeding brought in any such court has been brought in an inconvenient forum.

- 17.7 Severability. In the event any term, covenant or condition of this Agreement, or the application of such term covenant or condition, shall be held invalid as to any person or circumstance by any court having jurisdiction, all other terms, covenants and conditions of this Agreement and their application shall not be affected thereby, but shall remain in force and effect unless a court holds that the invalid term, covenant or condition is not separable from all other terms covenants and conditions of Agreement.
- 17.8 Force Majeure. Neither Party shall be liable to the other for any failure of performance under this Agreement due to causes beyond its control, including, but not limited to: acts of God, fire, flood or other catastrophes, adverse weather conditions, material or facility shortages or unavailability not resulting from such party's failure to timely place orders therefore, lack of transportation, the imposition of any governmental codes, ordinances, laws, rules, regulations or restrictions, national emergencies, insurrections, riots, wars or terrorism, or strikes, lock-outs, work stoppages or other labor difficulties.
- 17.8 Waiver. No delay or omission by either party to exercise any right or power occurring upon non-compliance or failure of performance by the other Party shall impair that right or power or be construed to be a waiver thereof. A waiver by either Party of any of the covenants, conditions or agreements to be performed by the other Party shall not be construed to be a general waiver of any such covenants, conditions or agreements, but the same shall be and remain at all times in full force and effect.
- 17.9 Headings. The Article headings herein are for convenience and reference only, and in no way define or limit the scope and content of this Agreement or in any way affect its provisions.
- 17.10 Notices. All notices, requests or other communications (other than those normally required during the installation process) under this Agreement or required by law shall be in writing and shall be hand-delivered, sent by overnight delivery service, mailed by first-class, registered or certified mail, postage prepaid and return receipt requested, or transmitted by telegram or facsimile, addressed as follows: 201 S. Walnut Street, Milford, DE 19963 ATTN: City Clerk and Bayhealth Medical Center, Inc., 604 S. State Street, Dover, DE 19901 ATTN : Chief Information Officer.
- 17.11 No Implied Representations. No representations, agreements, covenants, warranties, or certifications, express or implied, shall exist as between the parties, except as specifically set forth in this Agreement.
- 17.12 Integrated Agreement and Amendments. This Agreement is an integration of the entire understanding of the parties with respect to the matters set forth herein and supersedes any and all prior negotiations, understandings and agreements, whether oral or written. The parties shall only amend this Agreement in writing with the proper official signatures attached thereto.
- 17.13 Survival. The expiration or termination of the Agreement will not affect any right or obligation that either party may have accrued pursuant to the terms and conditions of this Agreement prior to such expiration or termination. Including, without limitation, provisions for indemnification, confidentiality, and the making of payments due hereunder.

- 17.14 Access to Books and Records. The parties agree to comply with the provisions of 42 C.F.R. Section 420.300, as applicable.
- 17.15 Compliance with Laws. Each party, shall comply, at its own cost and expense, with the provisions of all federal, state, county and municipal laws, ordinances, regulations and orders.
- 17.16 During the term of this agreement, Licensee will have the opportunity to reexamine lease costs to determine if rates for Licensee are similar to other non-governmental or non-profit companies utilizing leased fiber. The examination and the modification of lease rate is based on Licensee providing documentation to prove that both Licensee and other party are providing like services to the City over the leased fiber. Licensor will have the right for review and adjustment of rate.
- 17.17 Both Licensor and Licensee are willing proceed with further negotiations on additional fiber build outs.
- 17.19 The City of Milford agrees to register as a vendor in the government sponsored Federal Communications Commission (FCC) Healthcare Connect Fund (HCF) Program. This will allow Bayhealth Medical Center to receive the subsidies associated with this program with no financial impact to the City of Milford.
- 7.20 Any reference to “days” herein shall be considered calendar days.

[SIGNATURE PAGE FOLLOWS]

Signed, sealed and delivered in the presence of:

BAYHEALTH MEDICAL CENTER, INCORPORATED

Attest

Printed Name

Title

Sworn to and subscribed before me this _____ of _____, 2019.

NOTARY PUBLIC

COMMISSION EXPIRATION DATE

CITY OF MILFORD

Attest/City Clerk

Printed Name

Title

Sworn to and subscribed before me this _____ of _____, 2019.

NOTARY PUBLIC

COMMISSION EXPIRATION DATE



PUBLIC WORKS DEPARTMENT
180 Vickers Drive
Milford, DE 19963

PHONE 302.422.1110
FAX 302.422.1117
www.cityofmilford.com

To: Eric Norenberg, City Manager
From: Mark A. Whitfield, Public Works Director
Subject: Washington Street Water Tower Lease Recommendation – New Cingular Wireless
Date: March 8, 2019

The Public Works Department requests City Council consider a recommendation to enter into a lease with New Cingular Wireless PCS, LLC for use of the Washington Street Water Tower for the purpose of installing cellular equipment. The lease is for a 5 year period, commencing on the date of construction and includes an automatic four (4) additional 5 year renewal options. The City will receive \$2,153/month initially, with a 3% annual escalator. The lease is similar in terms and conditions as the SE Tower lease with Cellco Partnership.

The draft lease is attached.

Recommendation: Staff recommends City Council authorize the execution of the attached lease with New Cingular Wireless PCS, LLC.

WATER TOWER LEASE AGREEMENT

This Agreement, made this ___ day of _____, 2019, between the City of Milford, a municipal corporation, with its principal offices at 201 South Walnut Street, Milford, Delaware 19963, hereinafter designated LESSOR, and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 1025 Lenox Park Blvd NE, Atlanta, GA 30319, hereinafter designated LESSEE. The LESSOR and LESSEE are at times collectively referred to hereinafter as the "Parties" or individually as the "Party".

WITNESSETH

In consideration of the mutual covenants contained herein and intending to be legally bound hereby, the Parties hereto agree as follows:

1. PREMISES. LESSOR hereby leases to the LESSEE a portion of that certain space ("the Tower Space") on the LESSOR's water tower, hereinafter referred to as the "Tower", located at 110 South Washington Street, Milford, DE 19963, City of Milford, in Sussex County, Delaware as shown on the Sussex County Tax Map, Parcel 3-30-06.20-0042.00 in the City of Milford (the entirety of LESSOR's property is referred to hereinafter as the "Property" and is described in Exhibit "A" attached hereto and incorporated by reference), together with a parcel of land (the "Land Space") sufficient for the installation of LESSEE's equipment building; together with the non-exclusive easement for ingress and egress, seven (7) days a week, twenty-four (24) hours a day, except as limited herein, on foot or motor vehicle, including trucks, and for the installation and maintenance of utility wires, poles, cables, conduits, and pipes over, under, or along said easement for the installation and maintenance of utility wires, poles, cables, conduits, and pipes. The Tower Space, Land Space, Right of Way and Further Rights of Way, if any, are substantially shown in Exhibit "B", attached hereto and made a part hereof demised premises and are collectively referred to hereinafter as the "Premises".

In the event any public utility is unable to use the Right of Way or Further Rights of Way, the LESSOR hereby agrees to grant an additional right-of-way(s) either to the LESSEE or to the public utility at no out of pocket cost, if any, to the LESSEE; provided, however, that: (i) LESSOR shall have the right to approval of the location(s) of any such additional right-of-way, such approval not to be unreasonably withheld, delayed or conditioned; (ii) LESSEE agrees to pay LESSOR's reasonable costs incurred in review and approval of any such additional right-of-way; and (iii) in the event that LESSOR does not respond to LESSEE regarding same within fifteen (15) days after LESSEE's request, then LESSOR's approval shall be deemed given.

LESSOR hereby grants permission to LESSEE to install, maintain and operate the radio communications equipment, antennas and appurtenances described in Exhibit "B" attached hereto; provided however that LESSOR shall have the right to review and approve the plans for LESSEE's communications facility prior to LESSEE installing its equipment, such approval not to be unreasonably withheld, delayed or conditioned. In the event that LESSOR does not give a

response regarding same within thirty (30) days after submission by LESSEE, LESSOR's approval shall be deemed given. The Parties further agree that LESSEE's installation shall be performed by contractors that are approved by LESSEE. LESSEE shall notify LESSOR of its chosen contractor at least fifteen (15) working days prior to installation of the communications facility. LESSOR shall have the right to object within ten (10) working days after notice to any such LESSEE-chosen contractor should LESSOR provide LESSEE with documented evidence of any wrongdoing by such contractor affecting the Property or any of LESSOR's properties.

LESSEE reserves the right to replace the aforementioned equipment with similar and comparable equipment provided said replacement does not increase tower loading of said Tower.

LESSEE shall perform a survey of the Property and Premises, and said survey, upon approval by LESSOR, shall then become Exhibit "C" which shall be attached hereto and made a part hereof, and shall control in the event of boundary and access discrepancies between it and Exhibit "B". Cost for such work shall be borne by the LESSEE.

2. TERM; RENTAL; ELECTRICAL.

a. This Agreement shall be effective as of the date of execution by both Parties, provided, however, the initial term shall be for five (5) years and shall commence on the Commencement Date (as hereinafter defined) at which time rental payments shall commence and be due at a total annual rental of Twenty Five Thousand Eight Hundred Thirty Six and No/Dollars (\$25,836.00) to be paid in equal monthly installments of Two Thousand One Hundred Fifty Three and No/Dollars (\$2,153.00) on the first day of the month. The "Commencement Date" shall be the first day of the month after LESSEE begins installation of LESSEE's communications equipment. The Parties agree to acknowledge the Commencement Date in writing. LESSOR and LESSEE acknowledge and agree that initial rental payment(s) shall not actually be sent by LESSEE until thirty (30) days after the Commencement Date. By way of illustration of the preceding sentence, if the Commencement Date is January 1, LESSEE shall send to the LESSOR the rental payments for January 1 and February 1 by February 1.

Upon agreement of the Parties, LESSEE may pay rent by electronic funds transfer and in such event, LESSOR agrees to provide to LESSEE bank routing information for such purpose upon request of LESSEE.

b. LESSOR hereby agrees to provide to LESSEE certain documentation (the "Rental Documentation") evidencing LESSOR's interest in, and right to receive payments under, this Agreement, including without limitation: (i) documentation, acceptable to LESSEE in LESSEE's reasonable discretion, evidencing LESSOR's good and sufficient title to and/or interest in the Property and right to receive rental payments and other benefits hereunder; (ii) a complete and fully executed Internal Revenue Service Form W-9, or equivalent, in a form acceptable to LESSEE, for any party to whom rental payments are to be made pursuant to this Agreement; and (iii) other documentation that LESSEE may reasonably request for compliance with applicable governmental requirements. From time to time during the Term of this Agreement and within thirty (30) days of a written request from LESSEE, LESSOR agrees to

provide updated Rental Documentation in a form reasonably acceptable to LESSEE. The Rental Documentation shall be provided to LESSEE in accordance with the provisions of and at the address given in Paragraph 24.

Within fifteen (15) days of obtaining an interest in the Property or this Agreement, any assignee(s), transferee(s) or other successor(s) in interest of LESSOR shall provide to LESSEE Rental Documentation in the manner set forth in the preceding Paragraph. From time to time during the Term of this Agreement and within thirty (30) days of a written request from LESSEE, any assignee(s) or transferee(s) of LESSOR agrees to provide updated Rental Documentation in a form reasonably acceptable to LESSEE.

c. LESSOR shall, at all times during the Term, provide electrical service access (at LESSEE's Cost) within the Premises (LESSEE to secure its own telephone service access). If permitted by the local utility company servicing the Premises, LESSEE shall furnish and install an electrical meter at the Premises for the measurement of electrical power used by LESSEE's installation. In the alternative, if permitted by the local utility company servicing the Premises, LESSEE shall furnish and install an electrical sub-meter at the Premises for the measurement of electrical power used by LESSEE's installation. In the event such sub-meter is installed, the LESSEE shall pay the utility directly for its power consumption, if billed by the utility, and if not billed by the utility, then the LESSEE shall pay the LESSOR thirty (30) days after receipt of an invoice from LESSOR indicating the usage amount based upon LESSOR's reading of the sub-meter. All invoices for power consumption shall be sent by LESSOR to LESSEE at LESSEE'S Notice Addresses as per Section 25 below. LESSEE shall be permitted at any time during the Term, to install, maintain and/or provide access to and use of, as necessary (during any power interruption at the Premises), a temporary power source, and all related equipment and appurtenances within the Premises, or elsewhere on the Property in such locations as reasonably approved by LESSOR. LESSEE shall have the right to install conduits connecting the temporary power source and related appurtenances to the Premises.

3. EXTENSIONS. This Agreement shall automatically be extended for four (4) additional five (5) year terms unless LESSEE terminates it at the end of the then current term by giving LESSOR written notice of the intent to terminate at least six (6) months prior to the end of the then current term. The initial term and all extensions shall be collectively referred to herein as the "Term".

4. EXTENSION RENTALS. The annual rental for the second (2nd) and each subsequent year of this Agreement, including any extensions thereof, shall be equal to one hundred three percent (103%) of the annual rental payable for the immediately preceding year.

5. ADDITIONAL EXTENSIONS. Intentionally Omitted.

6. TAXES. LESSEE shall have the responsibility to pay any personal property, real estate taxes, assessments, or charges owed on the Property which LESSOR demonstrates is the result of LESSEE's use of the Premises and/or the installation, maintenance, and operation of the LESSEE's improvements, and any sales tax imposed on the rent (except to the extent that LESSEE is or may become exempt from the payment of sales tax in the jurisdiction in which the Property is located), including any increase in real estate taxes at the Property which

LESSOR demonstrates arises from the LESSEE's improvements and/or LESSEE's use of the Premises. LESSOR and LESSEE shall each be responsible for the payment of any taxes, levies, assessments and other charges imposed including franchise and similar taxes imposed upon the business conducted by LESSOR or LESSEE at the Property. Notwithstanding the foregoing, LESSEE shall not have the obligation to pay any tax, assessment, or charge that LESSEE is disputing in good faith in appropriate proceedings prior to a final determination that such tax is properly assessed provided that no lien attaches to the Property. Nothing in this Paragraph shall be construed as making LESSEE liable for any portion of LESSOR's income taxes in connection with any Property or otherwise. Except as set forth in this Paragraph, LESSOR shall have the responsibility to pay any personal property, real estate taxes, assessments, or charges owed on the Property and shall do so prior to the imposition of any lien on the Property.

LESSEE shall have the right, at its sole option and at its sole cost and expense, to appeal, challenge or seek modification of any tax assessment or billing for which LESSEE is wholly or partly responsible for payment. LESSOR shall reasonably cooperate with LESSEE at LESSEE's expense in filing, prosecuting and perfecting any appeal or challenge to taxes as set forth in the preceding sentence, including but not limited to, executing any consent, appeal or other similar document. In the event that as a result of any appeal or challenge by LESSEE, there is a reduction, credit or repayment received by the LESSOR for any taxes previously paid by LESSEE, LESSOR agrees to promptly reimburse to LESSEE the amount of said reduction, credit or repayment. In the event that LESSEE does not have the standing rights to pursue a good faith and reasonable dispute of any taxes under this Paragraph, LESSOR will pursue such dispute at LESSEE's sole cost and expense upon written request of LESSEE.

7. USE; GOVERNMENTAL APPROVALS. LESSEE shall use the Premises for the purpose of constructing, maintaining, repairing and operating a wireless communications facility and uses incidental thereto. All improvements, equipment, antennas and conduits shall be at LESSEE's expense and their installation shall be at the discretion and option of LESSEE. LESSEE shall have the right to replace, repair, add or otherwise modify its utilities, equipment, antennas and/or conduits or any portion thereof and the frequencies over which the equipment operates, whether the equipment, antennas, conduits or frequencies are specified or not on any exhibit attached hereto, during the Term. It is understood and agreed that LESSEE's ability to use the Premises is contingent upon its obtaining after the execution date of this Agreement all of the certificates, permits and other approvals (collectively the "Governmental Approvals") that may be required by any Federal, State or Local authorities as well as a satisfactory structural analysis which will permit LESSEE use of the Premises as set forth above. LESSOR shall cooperate with LESSEE in its effort to obtain such approvals and shall take no action which would adversely affect the status of the Property with respect to the proposed use thereof by LESSEE. In the event that (i) any of such applications for such Governmental Approvals should be finally rejected; (ii) any Governmental Approval issued to LESSEE is canceled, expires, lapses, or is otherwise withdrawn or terminated by governmental authority; (iii) LESSEE determines that such Governmental Approvals may not be obtained in a timely manner; (iv) LESSEE determines that any soil boring tests or structural analysis is unsatisfactory; (v) LESSEE determines that the Premises is no longer technically or structurally compatible for its use, or (vi) LESSEE, in its sole discretion, determines that the use the Premises is obsolete or

unnecessary, LESSEE shall have the right to terminate this Agreement. Notice of LESSEE's exercise of its right to terminate shall be given to LESSOR in writing by certified mail, return receipt requested, and shall be effective upon the mailing of such notice by LESSEE, or upon such later date as designated by LESSEE. All rentals paid to said termination date shall be retained by LESSOR. Upon such termination, this Agreement shall be of no further force or effect except to the extent of the representations, warranties and indemnities made by each Party to the other hereunder.

8. INDEMNIFICATION. Subject to Paragraph 10 below and to the fullest extent permitted by law, LESSEE shall indemnify and hold LESSOR, elected and appointed officials, employees, and agents harmless against any claim of liability or loss from personal injury or property damage resulting from or arising out of the negligence or willful misconduct of the LESSEE, its employees, contractors or agents, except to the extent such claims or damages may be due to or caused by the negligence or willful misconduct of the LESSOR, or its employees, contractors or agents.

9. INSURANCE.

- a. Notwithstanding the indemnity in section 9, the Parties hereby waive and release any and all rights of action for negligence against the other which may hereafter arise on account of damage to the Premises or to the Property, resulting from any fire, or other casualty of the kind covered by standard fire insurance policies with extended coverage, regardless of whether or not, or in what amounts, such insurance is now or hereafter carried by the Parties, or either of them. These waivers and releases shall apply between the Parties and they shall also apply to any claims under or through either Party as a result of any asserted right of subrogation. All such policies of insurance obtained by either Party concerning the Premises or the Property shall waive the insurer's right of subrogation against the other Party.
- b. LESSEE will maintain at its own cost;
 - i. Commercial General Liability insurance with limits of \$1,000,000 for injury to or death of one or more persons in any one occurrence and in the aggregate, and \$500,000 for damage or destruction to property in any one occurrence
 - iv. Commercial Auto Liability insurance on all owned, non-owned and hired automobiles with a combined limit of one million (\$1,000,000) per occurrence Workers Compensation insurance providing the statutory benefits and one million (\$1,000,000) of Employers Liability coverage.
 - iv. LESSEE will include the LESSOR as an additional insured on the Commercial General Liability and Auto Liability policies. as respects this Agreement. Lessor's additional insured status shall (i) be limited to bodily injury, property damage or personal and advertising injury caused, in whole or in part, by Lessee, its employees, agents or independent contractors; (ii) not extend to claims for punitive or exemplary damages

arising out of the acts or omissions of Lessor, its employees, agents or independent contractors or where such coverage is prohibited by law or to claims arising out of the gross negligence of Lessor, its employees, agents or independent contractors; and, (iii) not exceed Lessee's indemnification obligation under this Agreement, if any.

- v. Notwithstanding the forgoing, Lessee may, in its sole discretion, self insure any of the required insurance under the same terms as required by this Agreement. In the event Lessee elects to self-insure its obligation under this Agreement to include Lessor as an additional insured, the following conditions apply: (i) Lessor shall promptly and no later than thirty (30) days after notice thereof provide Lessee with written notice of any claim, demand, lawsuit, or the like for which it seeks coverage pursuant to this Section and provide Lessee with copies of any demands, notices, summonses, or legal papers received in connection with such claim, demand, lawsuit, or the like; (ii) Lessor shall not settle any such claim, demand, lawsuit, or the like without the prior written consent of Lessee; and (iii) Lessor shall fully cooperate with Lessee in the defense of the claim, demand, lawsuit, or the like. Proof of self-insurance shall be furnished to the CITY by the LESSEE prior to construction.

v.

- c. LESSOR will maintain at its own cost commercial general liability insurance with limits not less than \$1,000,000 for injury to or death of one or more persons in any one occurrence and \$500,000 for damage or destruction to property in any one occurrence. LESSOR will include the LESSEE as an additional insured.
- d. In addition, LESSOR shall obtain and keep in force during the Term a policy or policies insuring against loss or damage to the Tower with a commercially reasonable valuation, as the same shall exist from time to time without a coinsurance feature. LESSOR's policy or policies shall insure against all risks of direct physical loss or damage (except the perils of flood and earthquake unless required by a lender or included in the base premium), including coverage for any additional costs resulting from debris removal and reasonable amounts of coverage for the enforcement of any ordinance or law regulating the reconstruction or replacement of any undamaged sections of the Tower required to be demolished or removed by reason of the enforcement of any building, zoning, safety or land use laws as the result of a covered loss, but not including plate glass insurance.

10. LIMITATION OF LIABILITY. Except for indemnification pursuant to Paragraphs 8 and 30, neither Party shall be liable to the other, or any of their respective agents, representatives, employees for any lost revenue, lost profits, loss of technology, rights or services, incidental, punitive, indirect, special or consequential damages, loss of data, or interruption or loss of use of service, even if advised of the possibility of such damages, whether under theory of contract, tort (including negligence), strict liability or otherwise.

11. ANNUAL TERMINATION. Intentionally Omitted.

12. ACCESS TO TOWER. LESSOR agrees the LESSEE shall have free access to the Tower at all times for the purpose of installing and maintaining the said equipment, provided that: (i) LESSEE agrees to provide LESSOR with at least forty-eight (48) hours' telephonic notice (at (302) 422-6616 or such other number as LESSOR may provide LESSEE from time to time) for non-emergency, routine site work; (ii) for emergency access LESSEE will provide as much prior telephonic notice to LESSOR as is practical under the circumstances and if not possible to so notify LESSOR beforehand than LESSEE shall notify LESSOR as soon as is practicable thereafter; and (iii) LESSEE agrees to provide LESSOR with the names of those engineers, employees or properly authorized contractors of LESSEE or persons under their direct supervision who are authorized to access the site and all such personnel shall carry due identification at all times when on the Property.

13. TOWER COMPLIANCE. LESSOR shall be responsible for keeping the Tower in good repair as required by all Laws (as defined in Paragraph 34 below) and for compliance with all applicable rules and regulations. LESSEE shall be responsible for determining that the Premises are in compliance with all Laws, policies, and regulations applicable to the installation and maintenance of LESSEE's equipment and materials, including but not limited to any such laws or regulations promulgated by the Federal Communications Commission. No materials may be used in the installation of the antennas or transmission lines that will cause corrosion or rust or deterioration of the Tower structure or its appurtenances.

All antenna(s) on the Tower must be identified by a marking fastened securely to its bracket on the Tower and all transmission lines are to be tagged at the conduit opening where it enters any user's equipment space.

Upon request from LESSEE, LESSOR agrees to provide LESSEE with copies of all structural analyses regarding the Tower.

Upon request of the LESSOR, and on no more than one (1) occasion per ten (10) years (except for emergency repairs to the Tower), LESSEE agrees to temporary removal of its equipment on a temporary basis (a "Temporary Relocation") for the purpose of LESSOR performing maintenance, repair or similar work at the Property or on the Tower provided:

- a. LESSOR gives LESSEE at least ninety (90) days written notice prior to requiring LESSEE to such Temporary Relocation;
- b. LESSEE is allowed, if necessary, in LESSEE's reasonable determination, to place a temporary installation on the Property during the pendency of such Temporary Relocation; and
- c. Upon the completion of any maintenance, repair or similar work by LESSOR, LESSEE is permitted to return to its original location with all costs for the same being paid by LESSEE.

14. INTERFERENCE. LESSEE agrees to install equipment of the type and frequency which will not cause harmful interference which is measurable in accordance with then existing industry standards to any equipment of LESSOR or other lessees of the Property which existed on the Property prior to the date this Agreement is executed by the Parties. In the event any after-installed LESSEE's equipment causes such interference, and after LESSOR has notified LESSEE in writing of such interference, LESSEE will take all commercially reasonable steps necessary to correct and eliminate the interference, including but not limited to, at LESSEE's option, powering down such equipment and later powering up such equipment for intermittent testing. In no event will LESSOR be entitled to terminate this Agreement or relocate the equipment as long as LESSEE is making a good faith effort to remedy the interference issue. LESSOR agrees that LESSOR and/or any other tenants of the Property who currently have or in the future take possession of the Property will be permitted to install only such equipment that is of the type and frequency which will not cause harmful interference which is measurable in accordance with then existing industry standards to the then existing equipment of LESSEE. The Parties acknowledge that there will not be an adequate remedy at law for noncompliance with the provisions of this Paragraph and therefore, either Party shall have the right to equitable remedies, such as, without limitation, injunctive relief and specific performance.

15. REMOVAL AT END OF TERM. LESSEE shall, upon expiration of the Term, or within ninety (90) days after any earlier termination of the Agreement, remove its building(s), antenna(s), equipment, conduits, fixtures and all personal property and restore the Premises to its condition as of the date of the Commencement Date, reasonable wear and tear and casualty damage excepted. LESSOR agrees and acknowledges that all of the equipment, conduits, fixtures and personal property of LESSEE shall remain the personal property of LESSEE and LESSEE shall have the right to remove the same at any time during the Term, whether or not said items are considered fixtures and attachments to real property under applicable Laws. If such time for removal causes LESSEE to remain on the Premises after termination of this Agreement, LESSEE shall pay rent at the then existing monthly rate or on the existing monthly pro-rata basis if based upon a longer payment term, until such time as the removal of the building, antenna structure, fixtures and all personal property are completed.

16. HOLDOVER. LESSEE has no right to retain possession of the Premises or any part thereof beyond the expiration of that removal period set forth in Paragraph 15 herein, unless the Parties are negotiating a new lease or lease extension in good faith. In the event that the Parties are not in the process of negotiating a new lease or lease extension in good faith, LESSEE holds over in violation of Paragraph 15 and this Paragraph 16, then the rent then in effect payable from and after the time of the expiration or earlier removal period set forth in Paragraph 15 shall be equal to the rent applicable during the month immediately preceding such expiration or earlier termination.

17. PAYMENT UPON LESSEE'S TERMINATION. Except for termination at the end of a given five (5) year term, termination by LESSEE in the event of LESSOR's default and expiration of applicable cure period(s), termination due to casualty or condemnation as hereinafter provided or termination by LESSEE pursuant to Paragraphs 7(i) through 7(v), LESSEE shall have the right to terminate this Agreement pursuant to Paragraph 7(vi) at any

time and shall, in such instance only, be required to pay LESSOR a one (1) time, lump sum and non-refundable termination fee that is equal to six (6) months' rent under the current term, such termination fee to be considered as "additional rental".

18. RIGHTS UPON SALE. Should LESSOR, at any time during the Term decide (i) to sell or transfer all or any part of the Property or the Tower thereon to a purchaser other than LESSEE, or (ii) to grant to a third party by easement or other legal instrument an interest in and to that portion of the Tower and or Property occupied by LESSEE, or a larger portion thereof, for the purpose of operating and maintaining communications facilities or the management thereof, such sale or grant of an easement or interest therein shall be under and subject to this Agreement and any such purchaser or transferee shall recognize LESSEE's rights hereunder under the terms of this Agreement. To the extent that LESSOR grants to a third party by easement or other legal instrument an interest in and to that portion of the Tower and/or Property occupied by LESSEE for the purpose of operating and maintaining communications facilities or the management thereof and in conjunction therewith, assigns this Agreement to said third party, LESSOR shall not be released from its obligations to LESSEE under this Agreement, and LESSEE shall have the right to look to LESSOR and the third party for the full performance of this Agreement.

19. QUIET ENJOYMENT. LESSOR covenants that LESSEE, on paying the rent and performing the covenants herein, shall peaceably and quietly have, hold and enjoy the Premises.

20. TITLE. LESSOR represents and warrants to LESSEE as of the execution date of this Agreement, and covenants during the Term that LESSOR is seized of good and sufficient title and interest to the Property and has full authority to enter into and execute this Agreement. LESSOR further covenants during the Term that there are no liens, judgments or impediments of title on the Property, or affecting LESSOR's title to the same and that there are no covenants, easements or restrictions which prevent or adversely affect the use or occupancy of the Premises by LESSEE as set forth above.

21. INTEGRATION. It is agreed and understood that this Agreement contains all agreements, promises and understandings between LESSOR and LESSEE and that no verbal or oral agreements, promises or understandings shall be binding upon either LESSOR or LESSEE in any dispute, controversy or proceeding at law, and any addition, variation or modification to this Agreement shall be void and ineffective unless made in writing signed by the Parties. In the event any provision of the Agreement is found to be invalid or unenforceable, such finding shall not affect the validity and enforceability of the remaining provisions of this Agreement. The failure of either Party to insist upon strict performance of any of the terms or conditions of this Agreement or to exercise any of its rights under the Agreement shall not waive such rights and such Party shall have the right to enforce such rights at any time and take such action as may be lawful and authorized under this Agreement, in law or in equity.

22. GOVERNING LAW. This Agreement and the performance thereof shall be governed, interpreted, construed and regulated by the Laws of the State in which the Property is located.

23. ASSIGNMENT AND SUBLEASING. This Agreement may be sold, assigned or transferred by the LESSEE without any approval or consent of the LESSOR to the LESSEE's principal, affiliates, subsidiaries of its principal or to any entity which acquires all or substantially all of LESSEE's assets in the market defined by the Federal Communications Commission in which the Property is located by reason of a merger, acquisition or other business reorganization. As to other parties, the Premises or any portion thereof may not be subleased without the prior written consent of the LESSOR, not to be unreasonably withheld, conditioned or delayed and this Agreement may not be sold, assigned or transferred without the prior written consent of the LESSOR, not to be unreasonably withheld, conditioned or delayed. No change of stock ownership, partnership interest or control of LESSEE or transfer upon partnership or corporate dissolution of LESSEE shall constitute an assignment hereunder.

24. NOTICES. All notices hereunder must be in writing and shall be deemed validly given if sent by U.S. First Class Mail, certified mail, return receipt requested or by commercial courier, provided the courier's regular business is delivery service and provided further that it guarantees delivery to the addressee by the end of the next business day following the courier's receipt from the sender, addressed as follows (or any other address that the Party to be notified may have designated to the sender by like notice):

LESSOR: City of Milford
201 South Walnut Street
Milford, Delaware 19963

LESSEE: New Cingular Wireless PCS, LLC
Attn: Network Real Estate Administration
Re: Cell Site #: DEL05361; Cell Site Name: DT Milford (DE)
Fixed Asset #: 14510304
1025 Lenox Park Blvd NE
Atlanta, Georgia 30319

WITH A COPY TO: New Cingular Wireless PCS, LLC
Attn.: Legal Dept – Network Operations
Re: Cell Site #: DEL05361; Cell Site Name: DT Milford (DE)
Fixed Asset #: 14510304
208 S. Akard Street
Dallas, TX 75202-4206

Notice shall be effective upon actual receipt or refusal as shown on the receipt obtained pursuant to the foregoing, or in the case of U.S. First Class Mail, within three (3) business days after mailing.

25. SUCCESSORS. This Agreement shall extend to and bind the heirs, personal representative, successors and assigns of the Parties hereto.

26. SUBORDINATION AND NON-DISTURBANCE. Intentionally Omitted.

27. RECORDING. LESSOR agrees to execute a Memorandum of this Agreement which LESSEE may record with the appropriate recording officer. The date set forth in the Memorandum of Lease is for recording purposes only and bears no reference to commencement of either the Term or rent payments.

28. DEFAULT.

a. In the event there is a breach by a Party with respect to any of the provisions of this Agreement or its obligations under it, including the payment of rent, the non-defaulting Party shall give the defaulting Party written notice of such breach. After receipt of such written notice, the defaulting Party shall have fifteen (15) days in which to cure any monetary breach and thirty (30) days to cure any non-monetary breach, provided the defaulting party shall have such extended period as may be required beyond the thirty (30) days if the nature of the cure is such that it reasonably requires more than thirty (30) days and the defaulting Party commences the cure within the thirty (30) day period and thereafter continuously and diligently pursues the cure to completion. The non-defaulting Party may not maintain any action or effect any remedies for default against defaulting Party unless and until the defaulting Party has failed to cure the breach within the time periods provided in this Paragraph.

29. REMEDIES. Upon a default, the non-defaulting Party may at its option (but without obligation to do so), perform the defaulting Party's duty or obligation on the defaulting Party's behalf, including but not limited to the obtaining of reasonably required insurance policies. The costs and expenses of any such performance by the non-defaulting Party shall be due and payable by the defaulting Party upon invoice therefor. In the event of a default by either Party with respect to a provision of this Agreement, without limiting the non-defaulting Party in the exercise of any right or remedy which the non-defaulting Party may have by reason of such default, the non-defaulting Party may terminate the Agreement and/or pursue any remedy now or hereafter available to the non-defaulting Party under the Laws or judicial decisions of the state in which the Premises are located; provided, however, that each Party shall use reasonable efforts to mitigate its damages in connection with a default by the other Party.

30. ENVIRONMENTAL.

a. LESSOR will be responsible for all obligations of compliance with any and all environmental and industrial hygiene laws, including any regulations, guidelines, standards, or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene conditions or concerns as may now or at any time hereafter be in effect, that are or were in any way related to activity now conducted in, on, or in any way related to the Tower or Property, unless such conditions or concerns are caused by the specific activities of LESSEE in the Premises.

b. LESSOR shall hold LESSEE harmless and indemnify LESSEE from and assume all duties, responsibility and liability at LESSOR's sole cost and expense, for all duties, responsibilities, and liability (for payment of penalties, sanctions, forfeitures, losses, costs, or damages) and for responding to any action, notice, claim, order, summons, citation, directive, litigation, investigation or proceeding which is in any way related to: a) failure to comply with

any environmental or industrial hygiene law, including without limitation any regulations, guidelines, standards, or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene concerns or conditions as may now or at any time hereafter be in effect, unless such non-compliance results from conditions caused by LESSEE; and b) any environmental or industrial hygiene conditions arising out of or in any way related to the condition of the Tower or Property or activities conducted thereon, unless such environmental conditions are caused by LESSEE.

31. CASUALTY. In the event of damage by fire or other casualty to the Tower or Premises that cannot reasonably be expected to be repaired within forty-five (45) days following same or, if the Property is damaged by fire or other casualty so that such damage may reasonably be expected to disrupt LESSEE's operations at the Premises for more than forty-five (45) days, then LESSEE or LESSOR may, at any time following such fire or other casualty, provided LESSOR has not completed the restoration required to permit LESSEE to resume its operation at the Premises, terminate this Agreement upon fifteen (15) days prior written notice to the other Party. Any such notice of termination shall cause this Agreement to expire with the same force and effect as though the date set forth in such notice were the date originally set as the expiration date of this Agreement and the Parties shall make an appropriate adjustment, as of such termination date, with respect to payments due to the other under this Agreement. Notwithstanding the foregoing, the rent shall abate during the period of repair following such fire or other casualty in proportion to the degree to which LESSEE's use of the Premises is impaired.

32. CONDEMNATION. In the event of any condemnation of all or any portion of the Property, this Agreement shall terminate as to the part so taken as of the date the condemning authority takes title or possession, whichever occurs first. If as a result of a partial condemnation of the Premises or Tower, LESSEE, in LESSEE's sole discretion, is unable to use the Premises for the purposes intended hereunder, or if such condemnation may reasonably be expected to disrupt LESSEE's operations at the Premises for more than forty-five (45) days, LESSEE may, at LESSEE's option, to be exercised in writing within fifteen (15) days after LESSOR shall have given LESSEE written notice of such taking (or in the absence of such notice, within fifteen (15) days after the condemning authority shall have taken possession) terminate this Agreement as of the date the condemning authority takes such possession. LESSEE may on its own behalf make a claim in any condemnation proceeding involving the Premises for losses related to the equipment, conduits, fixtures, its relocation costs and its damages and losses (but not for the loss of its leasehold interest). Any such notice of termination shall cause this Agreement to expire with the same force and effect as though the date set forth in such notice were the date originally set as the expiration date of this Agreement and the Parties shall make an appropriate adjustment as of such termination date with respect to payments due to the other under this Agreement. If LESSEE does not terminate this Agreement in accordance with the foregoing, this Agreement shall remain in full force and effect as to the portion of the Premises remaining, except that the rent shall be reduced in the same proportion as the rentable area of the Premises taken bears to the total rentable area of the Premises.

33. SUBMISSION OF AGREEMENT/PARTIAL INVALIDITY/AUTHORITY. The submission of this Agreement for examination does not constitute an offer to lease the Premises and this Agreement becomes effective only upon the full execution of this Agreement by the Parties. If any provision herein is invalid, it shall be considered deleted from this Agreement and shall not invalidate the remaining provisions of this Agreement. Each of the Parties hereto warrants to the other that the person or persons executing this Agreement on behalf of such Party has the full right, power and authority to enter into and execute this Agreement on such Party's behalf and that no consent from any other person or entity is necessary as a condition precedent to the legal effect of this Agreement.

34. APPLICABLE LAWS. During the Term, LESSOR shall maintain the Property and all structural elements of the Tower, and LESSEE, at its sole cost and expense, shall conduct its activities on the Premises in compliance with all applicable laws, rules, regulations, ordinances, directives, covenants, easements, zoning and land use regulations, and restrictions of record, permits, building codes, and the requirements of any applicable fire insurance underwriter or rating bureau, now in effect or which may hereafter come into effect (including, without limitation, the Americans with Disabilities Act and laws regulating hazardous substances) (collectively "Laws").

35. SURVIVAL. The provisions of the Agreement relating to indemnification from one Party to the other Party shall survive any termination or expiration of this Agreement. Additionally, any provisions of this Agreement which require performance subsequent to the termination or expiration of this Agreement shall also survive such termination or expiration.

36. CAPTIONS. The captions contained in this Agreement are inserted for convenience only and are not intended to be part of the Agreement. They shall not affect or be utilized in the construction or interpretation of the Agreement.

37. TIME IS OF THE ESSENCE. Time is of the essence for purposes of performing the rights and obligations under this Agreement.

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

LESSOR:

City of Milford, a municipal corporation

By: _____

Name: _____

Its: _____

Date: _____

WITNESS

LESSEE:

New Cingular Wireless PCS, LLC, a
Delaware limited liability company

By: AT&T Mobility Corporation

Its: Manager

By: _____

Its: _____

Date: _____

WITNESS

Exhibit A

Legal Description

LEGAL DESCRIPTION

Property located in Sussex, DE

TRACT 1

All that certain lot, piece or parcel of land and premises situated on the East side of Pearl Alley, but not immediately adjacent thereto and being separated there from by other lands of the said Elizabeth S. Hammond in the City of Milford, Sussex County and State of Delaware, adjoining other lands of The City of Milford, and more particularly described as follows: Beginning at a point twenty-seven (27) feet distant from the East side of Pearl Alley and in the division line of lands of the said Elizabeth S. Hammond and lands of The City of Milford and thence running in a Northerly direction at right angles with the said last mentioned line along the present division line of lands of the said Elizabeth S. Hammond and The City of Milford a distance of twenty-six (26) feet to a new corner now established for lands of The City of Milford and said Elizabeth S. Hammond; thence running in a Westerly direction a distance of twenty-seven (27) feet along the division line of lands of Elizabeth S. Hammond and lands of Davis, a distance of twenty-seven (27) feet to a new corner; thence in an Easterly direction a distance of twenty-six (26) feet to the place of beginning.

AND BEING the same property conveyed to The City of Milford, a municipal corporation from Elizabeth S. Hammond, single woman by Deed dated April 6, 1938 and recorded April 8, 1938 in Deed Book 313 Page 147.

TRACT 2

All that certain piece, parcel or tract of land, situate lying and being on the west side of Washington Street, in the city of Milford, Sussex County and State of Delaware, described as follows, to-wit: Beginning at curb line west side of said Washington Street in line of lands of Herbert Griffith and running thence westerly with line of Griffith lands seventy-two (72) feet to lands of Charles P. Jones, thence northerly with line of Jones lands and lands of the City of Milford about thirty (30) feet; thence westerly in line of lands of City of Milford fifty six (56) feet to lands of Elizabeth Hammond, thence northerly with line of lands of Elizabeth Hammond twenty six (26) feet to the other lands of Charles P. Jones, thence easterly with line of said Jones lands and lands now is formerly of Howard Walls fifty six (56) feet thence northerly about twenty-seven (27) feet to the lands now or formerly of Howard Walls, thence Easterly about seventy two (72) feet to the place of beginning.

AND BEING the same property conveyed to The City of Milford, a municipal corporation from Mary L. Salmons, widow by Deed dated February 26, 1938 and recorded April 8, 1938 in Deed Book 313 Page 150.

Tax Parcel No. 330-6.20-42.00

Exhibit B

Tower Space, Land Space, Right of Way and Further Rights of Way

Up to twelve (12) panel antennas at a centerline mount height of 112' AGL

Up to nine (9) remote radio heads at a centerline mount height of 112' AGL

Up to nine (9) transmission lines

(See Attached Plans)

Exhibit C

Survey

(TBD)

**[SURVEY BEING DONE NOW-
ONCE RECEIVED]**