

City of Milford



CITY COUNCIL AGENDA

Monday, August 23, 2021

Joseph Ronnie Rogers Council Chambers
Milford City Hall, 201 South Walnut Street, Milford, Delaware

Per the Declaration of a Public Health Emergency issued by Governor Carney on July 13, 2021 and the virtual meeting provisions as provided in Senate Bill 94, Milford City Council and Committees will be held in a hybrid format, unless otherwise indicated on the agenda. Public Comments are encouraged on the items as noted on the agenda. Virtual attendees may alert the City Clerk that they wish to speak at the appropriate time by submitting their name, address, and agenda item on which they would like to comment via the Zoom Q&A function or by using the Raise Your Hand function during the meeting. All written public comments received prior to the meeting will be read into the record.

This meeting is also available for viewing by the public by accessing the following link:
<https://zoom.us/j/94877121629>

Members of the public may also dial in by phone using the following number:
Call 301 715 8592 Webinar ID: 948 7712 1629

6:30 P.M.

WORKSHOP SESSION

WIIN Presentation

7:00 P.M.

COUNCIL MEETING

Call to Order - Mayor Archie Campbell

Invocation

Pledge of Allegiance

Recognition

Public Hearings ®

Ordinance 2021-16

CCM-Koelig LLC on behalf of Wickersham Residential Development

Revised Preliminary Major Subdivision

Comprehensive Plan Designation: Moderate Density Residential

Zoning District: R-3 (Garden Apartment and Townhouse)

Present Use: Vacant Proposed Use: Townhouse Subdivision

Area and Location: 39.015 +/- acres of land located along the north side of Johnson Road adjacent to State Route 1

Tax Map:3-30-16.00-005.00, 3-30-16.00-269.00 through 475.00

Ordinance 2021-17

Maryland Square LLC on behalf of Wash It LLC

Conditional Use

Comprehensive Plan Designation: Commercial

Zoning District: C-3 (Highway Commercial District)

Present Use: Self Storage

Proposed Use: Laundromat & Self Storage

Area & Location: 1.105 +/- acres of land located along the south side of Milford-Harrington Highway approximately 230 feet west of the Route 113 intersection

Address: 25 Milford-Harrington Highway

Tax Parcel: MD-16-183.09-01-48.00

Ordinance 2021-18

39 North Walnut LLC

Conditional Use

Comprehensive Plan Designation: Commercial

Zoning District: C-2 (Central Business District)

Present Use: Mixed Use – (6) Commercial Tenant Spaces and (1) Apartment

Proposed Use: Mixed Use – (7) Commercial Tenant Spaces and (5) Apartments

Area & Location: 0.26 +/- acres of land located at the southeast intersection of North Walnut Street and Northeast Front Street

Address: 39 North Walnut Street

Tax Parcel: MD-16-183.10-04-44.00

Communication & Correspondence

Unfinished Business

New Business

Carlisle Fire Company/Authorization to Use Enhancement Funds²

Funding & MOU Authorization/Bridge 2-503 Replacement/Southwest Front Street

Authorization/KCI Technologies/SE Neighborhood Sewer Infrastructure Analysis

Authorization Addendum Agreement/Milford School District/School Resource Officer³

ARPA Community Support Initiative³

Executive Session

Motion to Recess into Executive Session

Pursuant to 29 Del. C. §10004(b)(2) Preliminary discussions on site acquisitions for any publicly funded capital improvements, or sales or leases of real property;

Return to Open Session

Potential Vote:

Land Purchases

Adjournment

All items on the Council Meeting Agenda are subject to a potential vote.

**SUPPORTING DOCUMENTS MUST BE SUBMITTED TO THE CITY CLERK IN ELECTRONIC FORMAT
NO LATER THAN ONE WEEK PRIOR TO MEETING; NO PAPER DOCUMENTS WILL BE ACCEPTED OR DISTRIBUTED
AFTER PACKET HAS BEEN POSTED ON THE CITY OF MILFORD WEBSITE.**

© Public Comment, up to three minutes per person, will be accepted.

070921

~~081621 Late Agenda Addition/Sprint Spectrum Agreement/Time Sensitive (Budget) Issue (Item Removed 08.19.21; Added to 09.27.21 Agenda)~~

~~081721 Late Agenda Addition/Request via Carlisle Fire Company via Email~~

~~081921 Late Agenda Addition/Received from City Manager/Time Sensitive/Start of School Year~~

~~081921 Late Agenda Addition/Request by Finance Director~~

082321 Location Descriptions added to Ord 2021-17 & Ord 2021-18



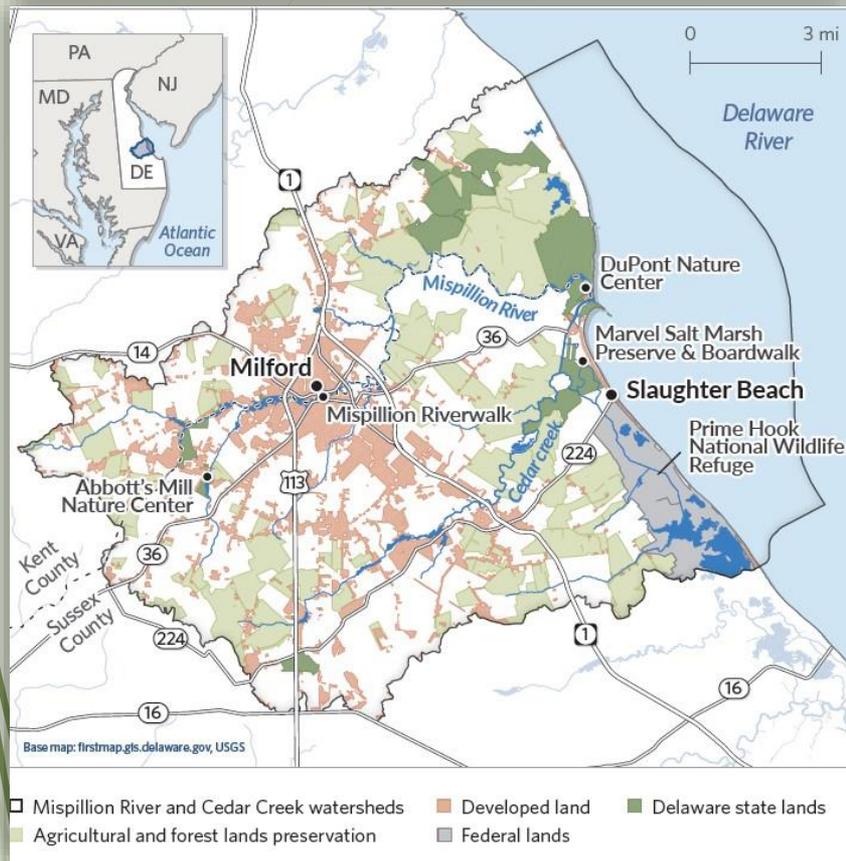
Project WIIN

Danielle Swallow, Delaware Sea Grant & WIIN
August 23, 2021



Photo Credit: Tony Pratt

Our Focus



map courtesy of The Pew Charitable Trusts

- One of the largest remaining tracts of natural resources in DE
- Home to an international flyway for migrating birds and world-renowned horseshoe crab spawning
- What value do these resources represent to the community?
- How do we improve access, recreation, and economic opportunities while preserving the overall resilience of the area?

WIIN Coalition Members



I.G. Burton
David Burton



DELAWARE DEPARTMENT OF
NATURAL RESOURCES AND
ENVIRONMENTAL CONTROL



A photograph of a green metal truss bridge spanning a body of water. The bridge is supported by wooden pilings. In the background, there are residential and commercial buildings under a clear sky. The foreground shows a grassy bank with a rocky shoreline.

\$220,000 Grant from the NFWF National Coastal Resilience Fund

Project Components:

- Economic Valuation Studies
- Vulnerability Assessment
- Nature-Based Investment Strategy

Phase 1 Economic Study

- Funded by The Pew Charitable Trusts in partnership with WIIN
- Authored by University of Maryland's Environmental Finance Center
- Which resources and natural assets are important to the way of life?
- The area's natural resources are valued at *several million dollars* per year for leisure and recreation alone

Community-Centered
Natural Resource Benefits:
Mispillion Watershed, Delaware



Image from: <https://www.thedelaware.com/finding/center-center>



June 2021 • School of Architecture, Planning & Preservation • Maryland's Built Environment School

<https://www.derascl.org/wiin>

URBAN RIVER PARK & INLAND

Urban Parks and Riverwalk:
Recreation/tourism,
Leisure, cultural values.

Storm
protection

MARSH, RIVER & WETLAND

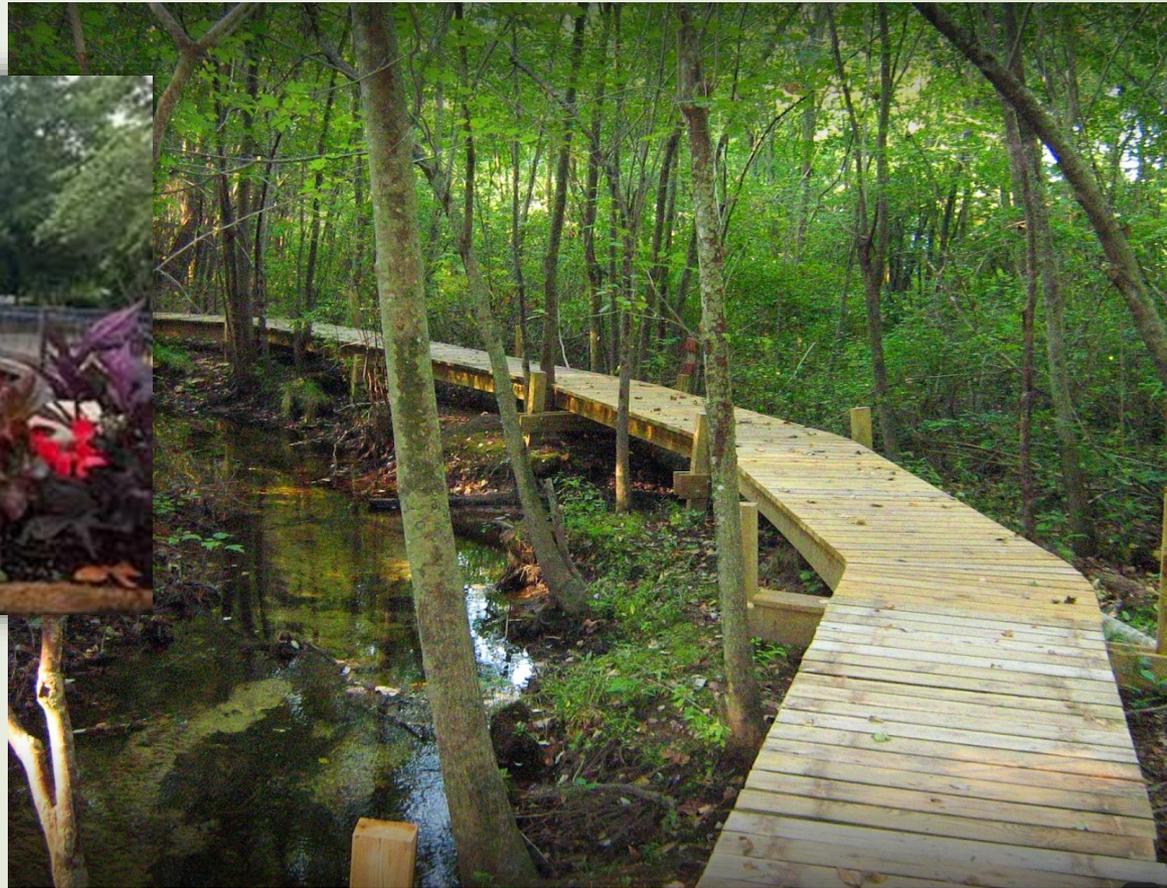
Open space: Recreation, aesthetic,
habitat and aquatic life values.

MARINE/HARBOR/BAY BEACH

Harbor, Preserve & Sanctuary:
Aesthetic, commercial, recreation
value.

- **Urban River Park and Inland**

This includes recreational- and tourist-centered [Abbott's Mill Nature Center](#), [Mispillion Riverwalk Greenway](#), and the [Vinyard Shipyard](#). Abbott's Mill visitation data indicates general recreation values between \$313,000 and \$6.3 million; and for greenway park leisure activities \$465,000-\$1.19 million.



- **Marsh, River, and Wetlands.** The [Marvel Saltmarsh Preserve Boardwalk](#) is especially valued for shorebird viewing. The value of annual birding trips in 2020 is estimated at \$428,000; protection by saltmarsh/wetlands reduces monetary damage of storms by 10%. Using flood insurance claims, a sensitivity analysis between 10% and 50% marsh storm protection saves between \$7,800 and \$125,200 per event.



- **Marine, Harbor, Slaughter Beach.** [Mispillion Harbor Reserve](#) and [DuPont Nature Center](#) and [Slaughter Beach](#) support wildlife, shorebird, and horseshoe crab viewing; bay beach recreation; recreational and commercial boating; and commercial shipping. Annual nature center and harbor shorebird viewing values: \$574,000 to \$1.15 million. The annual Slaughter Beach recreational accessed value is estimated to be \$458,000.



Photo Credit: Tony Pratt

Phase 2 Economic Study



- Engage outdoor community (state parks, federal wildlife refuge, local community recreation groups and businesses)
- Collect existing data on infrastructure and assets (costs and planning).
- Estimate benefits and costs of different ecotourism options and investments
- Integrate findings with vulnerability assessment and investment strategy

Vulnerability Assessment

- ▶ Examine natural resources and community assets in the context of changing climate and land use patterns
- ▶ Seek community feedback
- ▶ Prioritize resources and assets most at risk and that are important to the long-term resilience of the community



Nature-Based Investment Strategy

- ▶ Based on community input and results of the economic valuation studies and vulnerability assessment
- ▶ Identifies investments that produce a “return on environment” by supporting win-win strategies that balance economic opportunity with sustainability and resilience. For example:
 - ▶ Eco-tourism and edu-tourism projects
 - ▶ Restoration and preservation of natural resources
 - ▶ Environmentally-friendly industries such as aquaculture
- ▶ Establishes a brand and initial marketing strategy for the region

For More Information

- ▶ Check out <https://www.derascl.org/wiin> for updates and media coverage
- ▶ Contact Danielle Swallow (email: dswallow@udel.edu, 302-645-4258)



Credit: Tony Pratt



The background of the image is a stylized American flag with a dark blue field containing white stars and alternating red and white horizontal stripes. The flag is slightly wavy, giving it a sense of movement. The text is overlaid on this background in a white, gothic-style font.

The Pledge of Allegiance

I pledge allegiance to the flag
of the United States of America,
and to the republic for which it stands,
one nation under God,
indivisible, with liberty and justice for all.

CITY OF MILFORD
NOTICE OF PUBLIC HEARINGS

Planning Commission Hearing: Tuesday, August 17, 2021 @ 7:00 PM
City Council Hearing: Monday, August 23, 2021 @ 7:00 P.M.

NOTICE IS HEREBY GIVEN that the Planning Commission and City Council will hold Public Hearings in the Joseph Ronnie Rogers Council Chambers at Milford City Hall, 201 South Walnut Street, Milford, Delaware, to allow interested parties to participate in the discussion and consideration of the following zoning matter:

ORDINANCE 2021-16

CCM-Koelig, LLC, on behalf of Wickersham, for the Revised Preliminary Major Subdivision of 39.015 +/- acres resulting in a 203-unit Townhouse Subdivision in an R3 Zoning District. The property is located along the north side of Johnson Road adjacent to State Route 1. Present Use: Vacant; Proposed Use: Townhouse Subdivision to be known as Wickersham Residential Development. Tax Map: 3-30-16.00-005.00, 3-30-16.00-269.00 through 475.00

WHEREAS, the owner of the property, described herein, have petitioned the City of Milford for a revision to the previously approval Major Subdivision plan; and

WHEREAS, City Council granted Preliminary Major Subdivision approval in 2008 and Final Major Subdivision approval in 2013 for a 205-unit Townhouse Subdivision; and

WHEREAS, the applicant is seeking a revision to the previously recorded Major Subdivision plan that eliminates the rear alleys and slightly reconfigures the proposed streets resulting in a reduction of two units and a 203-unit Townhouse Subdivision; and

WHEREAS, the City of Milford Planning Commission considered the revised plan at a Public Hearing on August 17, 2021; and

WHEREAS, Milford City Council held a second hearing on August 23, 2021 at which time approval was granted.

NOW, THEREFORE, the City of Milford hereby ordains as follows:

Section 1. Upon adoption of this ordinance, CCM-Koelig, LLC, on behalf of Wickersham, is granting a Revised Preliminary Major Subdivision of 39.015 acres, resulting in a 203-unit Townhouse Subdivision.

Section 2. Dates.

City Council Introduction: August 9, 2021

Planning Commission Review & Public Hearing: August 17, 2021

City Council Public Hearing: August 23, 2021

Effective Date: September 2, 2021

For additional information, please contact Rob Pierce in the Planning & Economic Development Department either by e-mail at RPierce@milford-de.gov or by calling 302.424.8396.

Advertised: *Milford Beacon* 07/28/21

DATA SHEET FOR WICKERSHAM

Development Advisory Committee: January 20, 2021

Planning Commission Meeting: August 17, 2021

Application Number / Name	:	20-060 / Wickersham
Applicant	:	CCM-Koelig, LLC 4600 New Linden Hill Road, Suite 102 Wilmington, DE 19808
Owner	:	Same
Application Type	:	Revised Preliminary Major Subdivision
Comprehensive Plan Designation	:	Moderate Density Residential
Zoning District	:	R-3 (Garden Apartment and Townhouse)
Present Use	:	Vacant
Proposed Use	:	Townhouse Subdivision
Area and Location	:	40.62 +/- acres of land located along the north side of Johnson Road adjacent to SR1, known as the proposed Wickersham residential development.
Property Identification Numbers	:	3-30-16.00-005.00, 3-30-16.00-269.00 through 475.00

ENC: Staff Analysis Report
Exhibit A - Location & Zoning Map
Preliminary Major Subdivision Plans

STAFF ANALYSIS REPORT
July 26, 2021

Application Number / Name	:	19-020 / Wickersham
Application Type	:	Revised Preliminary Major Subdivision
Comprehensive Plan Designation	:	Moderate Density Residential
Zoning District	:	R-3 (Garden Apartment and Townhouse)
Present Use	:	Vacant
Proposed Use	:	Townhouse Subdivision
Property Identification Numbers	:	3-30-16.00-005.00, 3-30-16.00-269.00 through 475.00
Area and Location	:	39.015 +/- acres of land located along the north side of Johnson Road adjacent to SR1, known as the proposed Wickersham residential development.

I. BACKGROUND INFORMATION:

- The subject property was annexed into the City of Milford in 2006. City Council granted Preliminary Major Subdivision approval in 2008 and Final Major Subdivision approval in 2013 for the construction of a 205-unit townhouse subdivision. The plans were recorded with Sussex County Recorder of Deeds but construction has not commenced to date.
- The applicant is seeking Preliminary Major Subdivision approval to revise the previously recorded subdivision. The revisions include the elimination of the rear alleys and slight reconfiguration of the proposed streets and would result in a 203-unit townhouse subdivision.

II. STAFF ANALYSIS:

Based on the information presented, the City of Milford Code and the Comprehensive Plan, staff submits the following regarding the request for a revised Preliminary Major Subdivision approval:

- The applicant is seeking a waiver from Chapter 200-8(B)(1) which states “sidewalks shall be required in all subdivision on both sides of the street.” The applicant is seeking permission to eliminate the requirement for sidewalk along the east side of Wickersham Lane. A 10-foot-wide

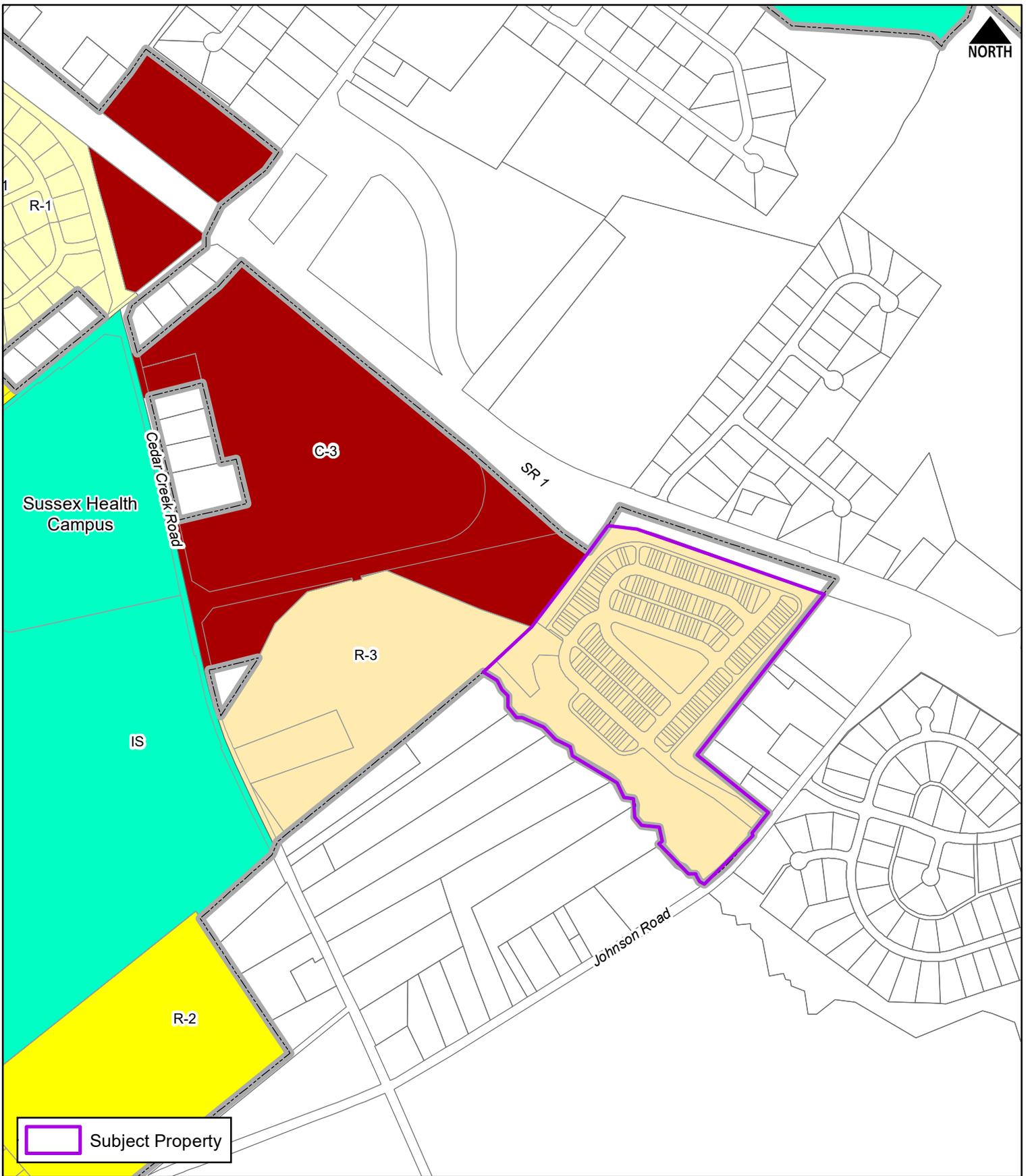
shared use path is being provided along the west side of Wickersham Lane from Johnson Road to the water tower property.

- The applicant is seeking a waiver from Chapter 200-8(H)(1)(f) which states “shade trees 150 feet on center each side of the road shall be located so as not to interfere with utilities or sidewalks and shall be of the types recommended by the City Arborist.” On Wickersham Lane between Johnson Road and Riley Road, the street trees can be provided every 150 feet as required by the code. For the rest of Wickersham, the applicant is seeking permission to provide trees at a maximum separation of 180 feet or 10 feet past the first and last driveway of each townhouse block (blocks are 160 feet). Areas adjacent to open space will be able to meet the 150-foot separation.
- Other than the two above referenced waiver requests, the application is consistent with Chapter 230 Zoning and Chapter 200 Subdivision of Land.
- The preliminary major subdivision plans have been reviewed for general compliance with the City’s Construction Standards and Specifications. See enclosed City Engineer review letter.
- The following comments must be addressed prior to final major subdivision approval;
 - Final Major Subdivision Plan approval will require approvals or no objection letters from DelDOT, State Fire Marshal’s Office and Sussex Conservation District;
 - Applicant must address remaining Preliminary Major Subdivision review comments (copy of which is included in the packet);
 - Applicant must obtain final approval of engineering plans from the City Engineer; and
 - Address additional department and agency comments outlined in Section III.

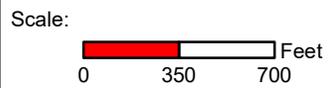
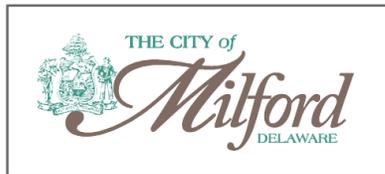
III. AGENCY & DEPARTMENT COMMENTS:

- **Office of State Planning Coordination**
No comments provided.
- **DelDOT**
See attached comments.
- **Delaware Health and Social Services – Division of Public Health**
No comments provided.
- **Department of Natural Resources and Environmental Control (DNREC), Division of Water, Surface Water Discharges Section (SWDS)**
No comments provided.
- **Sussex Conservation District**
No comments provided.
- **Delaware State Fire Marshal’s Office**
See attached comments.
- **Carlisle Fire Company**
No comments provided.

- **City Engineer**
Contact: Jason McClafferty, P.E. – KCI Technologies
See attached comments dated July 6, 2021.
- **City of Milford Public Works Department**
No comments provided.
- **City of Milford Parks and Recreation Department**
No comments provided.
- **City of Milford Police Department**
No comments provided.
- **Milford School District**
No comments provided.



 Subject Property



Drawn by: WRP Date: 01/07/21

Title:

Preliminary Major Subdivision
Wickersham
 Location & Zoning Map

Filepath: PreliminaryMajor_Wickersham.mxd

WICKERSHAM

PRELIMINARY MAJOR SUBDIVISION

CITY OF MILFORD

SUSSEX COUNTY, DELAWARE

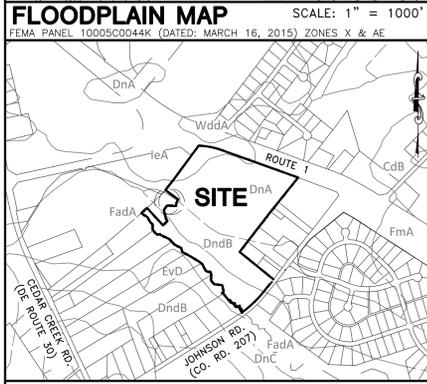
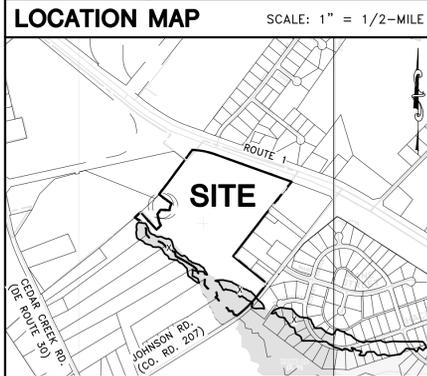
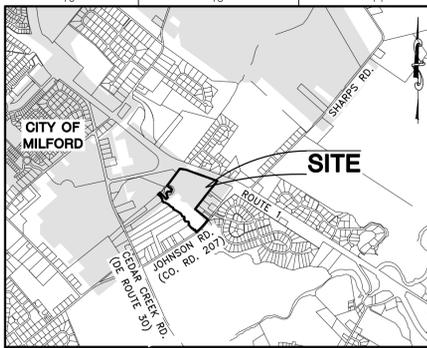
DBF PROJECT #3402A001

NOVEMBER, 2020

SHEET INDEX	
TITLE SHEET	PL-01
EXISTING CONDITIONS-DEMO PLAN OVERVIEW	PL-02
EXISTING CONDITIONS-DEMO PLAN	PL-03
EXISTING CONDITIONS-DEMO PLAN	PL-04
PRELIMINARY PLAN OVERVIEW	PL-05
PRELIMINARY SITE PLAN	PL-06
PRELIMINARY SITE PLAN	PL-07
PRELIMINARY UTILITY PLAN OVERVIEW	PL-08
PRELIMINARY UTILITY PLAN	PL-09
PRELIMINARY UTILITY PLAN	PL-10

CITY OF MILFORD GENERAL NOTES

- THE BOUNDARY INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON A SURVEY PERFORMED BY DAVIS, BOWEN & FRIEDEL, INC. ON APRIL 13, 2020.
- A TOPOGRAPHIC SURVEY WAS PERFORMED BY DAVIS, BOWEN & FRIEDEL ON APRIL 13, 2020.
- HORIZONTAL DATUM IS BASED ON DELAWARE STATE GRID, NAD83 CONTROL MONUMENTS (TO BE ADDED DURING DESIGN).
- HYDRIC SOILS ARE INDICATED AS BEING PRESENT ACCORDING TO SUSSEX COUNTY SOIL SURVEY. SOILS HAVE BEEN INSPECTED BY ERI, A LICENSED WETLANDS SCIENTIST.
- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGUN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY DELMARVA (800-282-8555) A MINIMUM OF THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO ANY EXCAVATION.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MATERIALS AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE CITY OF MILFORD STANDARD SPECIFICATIONS FOR INSTALLATION OF UTILITY CONSTRUCTION AND SUBDIVISION PAVEMENT DESIGN, AND ALL APPLICABLE AGENCIES HAVING JURISDICTION OVER THE PROPOSED IMPROVEMENTS.
- USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACKFILLING TRENCHES.
- THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION.
- SHOP DRAWINGS FOR ANY ITEM(S) WHICH WILL EVENTUALLY BE TAKEN OVER BY THE CITY SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE ORDERING OF AND/OR INSTALLATION OF THE ITEM(S).
- THE PROPERTY IS IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 10005C0044K DATED MARCH 16, 2015, ZONES X & AE.
- ALL FIRE LANES, FIRE HYDRANTS, EXITS, AND STANDPIPES WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE OWNER.
- DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
- THE OWNER AND/OR THEIR CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE SERVICES OF A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF DELAWARE FOR THE PERMANENTLY RE-ESTABLISHING OF ANY PROPERTY MARKERS OR MONUMENTS DISTURBED DURING CONSTRUCTION. A SURVEY AND METES AND BOUNDS THAT INCLUDES THE RE-ESTABLISHED MARKER(S) OR MONUMENT(S) SHALL BE PRESENTED TO THE PROPERTY OWNER FOR COMPARISON WITH THE ORIGINAL PLAT, FOR VERIFICATION.
- THE OWNER SHALL BE RESPONSIBLE FOR THE SHORT-TERM MAINTENANCE OF ANY AND ALL STORMWATER MANAGEMENT FACILITIES AND STORM SEWER SYSTEMS UNTIL SUCH TIME THAT THE LONG-TERM MAINTENANCE RESPONSIBILITIES CAN BE TRANSFERRED TO A LEGALLY-ESTABLISHED HOMEOWNERS ASSOCIATION OR OTHER RESPONSIBLE ENTITY.
- THE CITY OF MILFORD WILL ASSUME OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF WATER AND SEWER PIPES AND APPURTENANCES, INSTALLED WITHIN CITY RIGHT-OF-WAY AND EASEMENTS DEDICATED TO THE CITY, STORM SEWER PIPES AND CATCH BASINS, INSTALLED FULLY WITHIN CITY RIGHT-OF-WAY; ONCE THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - ALL ITEMS HAVE PASSED CITY INSPECTION;
 - THE CITY HAS RECEIVED AND APPROVED DIGITAL AND HARD COPIES OF THE RECORD DRAWINGS; AND
 - THE RIGHTS-OF-WAY AND/OR EASEMENTS HAVE BEEN DEEDED TO THE CITY AND RECORDED WITH THE RECORDER OF DEEDS.
- SEWER AND WATER CAPACITY ARE NOT GUARANTEED UNTIL BUILDING PERMITS ARE ISSUED, ALL FEES ARE PAID AND SUITABLE UTILITIES ARE IN PLACE FOR PROPER CONVEYANCE, TREATMENT AND DISPOSAL.
- PRELIMINARY APPROVAL FROM CITY COUNCIL SHALL BE VOID AFTER ONE (1) YEAR, UNLESS AN EXTENSION IS REQUESTED BY THE OWNER AND APPROVED BY CITY COUNCIL PRIOR TO THE DATE OF EXPIRATION.
- THE APPROVAL OF A CONDITIONAL USE IS VALID FOR ONE YEAR, UNLESS PERMITS ARE OBTAINED OR CONSTRUCTION OR USE IS SUBSTANTIALLY UNDERWAY, ALL PROVISIONS OF THE CONDITIONAL USE ARE AUTOMATICALLY RESCINDED.
- WITHIN 90 DAYS OF FINAL APPROVAL FROM CITY COUNCIL, THE SUBDIVIDER SHALL RECORD THE PLAT AT THE COUNTY RECORDER OF DEEDS OFFICE. FAILURE TO RECORD THE APPROVED PLAT WITHIN ONE YEAR FROM THE DATE OF CITY COUNCIL APPROVAL SHALL VOID THE FINAL APPROVAL. IN ORDER TO OBTAIN FINAL APPROVAL AFTER IT HAS BEEN VOIDED, THE SUBDIVIDER MUST MAKE APPLICATION FOR FINAL APPROVAL AGAIN. FAILURE TO RECORD THE APPROVED PLAT IN MORE THAN ONE YEAR FROM THE DATE OF CITY COUNCIL APPROVAL SHALL VOID THE PRELIMINARY APPROVAL AND FINAL APPROVAL. IN ORDER TO OBTAIN PRELIMINARY AND FINAL APPROVAL AFTER THEY HAVE BEEN VOIDED, THE SUBDIVIDER MUST MAKE APPLICATION FOR AND RECEIVE PRELIMINARY APPROVAL, THEN MAKE APPLICATION FOR AND RECEIVE FINAL APPROVAL.
- IF CONSTRUCTION OF IMPROVEMENTS SHOWN ON THE RECORDED SUBDIVISION PLANS DO NOT COMMENCE WITHIN FIVE YEARS OF THE ORIGINAL RECORDATE DATE, AND CONTINUE PROGRESSING TOWARDS COMPLETION, THE SUBDIVISION IS SUBJECT TO EXPIRATION PER CHAPTER 200-9 OF THE CITY CODE.
- THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL CITY AND/OR AGENCY CONSTRUCTION PERMIT APPLICATIONS HAVE BEEN COMPLETED, SUBMITTED, AND ALL APPLICABLE FEES HAVE BEEN PAID PRIOR TO COMMENCING CONSTRUCTION. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR AN ANTICIPATED CONSTRUCTION START DATE THAT IS NOT MET DUE TO THE APPLICANT OR HIS/HER CONTRACTOR NOT HAVING MET THE CONSTRUCTION PERMITTING REQUIREMENTS.
- AS A CONDITION OF THE APPROVAL OF THE CONSTRUCTION DRAWINGS, AND PRIOR TO THE START OF CONSTRUCTION, THE APPLICANT MAY BE REQUIRED TO ENTER INTO A FORMAL PUBLIC WORKS AGREEMENT WITH THE CITY AND/OR TO POST A COMPLETION GUARANTEE FOR ANY IMPROVEMENTS WHICH WILL EVENTUALLY BE TAKEN OVER BY THE CITY. THE GUARANTEE SHALL BE IN AN AMOUNT EQUAL TO 150% OF THE COST OF THE IMPROVEMENTS AS ESTIMATED OR APPROVED BY THE CITY ENGINEER. THE GUARANTEE SHALL BE IN THE FORM OF A BOND OR FUNDS DEPOSITED IN AN ESCROW ACCOUNT. THE PUBLIC WORKS AGREEMENT AND THE GUARANTEE SHALL BE REVIEWED, AND APPROVED BY THE CITY SOLICITOR. THE COMPLETION GUARANTEE SHALL NOT BE RELEASED UNTIL A MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE IMPROVEMENTS HAS BEEN SUBMITTED.
- FINAL APPROVAL FROM THE CITY SHALL BECOME VOID IF THE FINAL RECORD PLAT IS NOT RECORDED WITHIN 90 DAYS OF THE DATE OF PLANNING COMMISSION'S GRANTING OF FINAL APPROVAL. IF CONSTRUCTION OF THE APPROVED IMPROVEMENTS IS NOT SUBSTANTIALLY UNDERTAKEN WITHIN ONE (1) YEAR OF FINAL SITE PLAN APPROVAL, THE SITE PLAN APPROVAL SHALL BE VOID. THE APPLICANT MAY REQUEST A ONE (1) YEAR EXTENSION FROM THE PLANNING COMMISSION FOR GOOD CAUSE.
- ALL RIGHT OF WAYS SHOWN ON THIS PLAT SHALL BE DEDICATED TO THE PUBLIC USE UPON RECORDATE OF THESE PLATS.
- ALL SUBDIVISION LOTS SHALL HAVE A 5 FOOT PUBLIC EASEMENT ALONG LOT LINES FOR A TOTAL EASEMENT WIDTH OF AT LEAST TEN FEET ALONG A LOT LINE COMMON TO TWO LOTS AND A TEN-FOOT-WIDE EASEMENT ALONG FRONT PROPERTY LINES WITHIN THE SUBDIVISION. EASEMENTS ALONG PERIMETER BOUNDARIES OF THE SUBDIVISION SHALL BE TEN FEET IN WIDTH ON THE INTERIOR SIDE OF THE BOUNDARY.
- NO PLANTINGS OR IMPROVEMENTS MAY BE PLACED IN THE DEDICATED EASEMENT AREAS, EXCEPT FOR FENCES.
- THERE ARE FEDERALLY REGULATED WETLANDS PRESENT ON THIS SITE.
- THIS SITE CONTAINS A WELL-HEAD PROTECTION AREA.
- UPON RECORDATE OF THIS PLAT, THE CITY WILL HAVE THE RIGHT OF INGRESS AND EGRESS TO ALL MULTIFAMILY AREAS FOR THE PURPOSE OF MAINTAINING UTILITIES AND FOR TRASH REMOVAL SERVICES
- THE FOLLOWING NOTES ARE IN REFERENCE TO THE PROPOSED SHARED-USE PATH THAT RUNS THROUGH THE SITE AND CONNECTS WITH THE CITY OF MILFORD'S BICYCLE MASTER PLAN:
 - THE BIKE PATH SHALL BE LOCATED IN A PERMANENT EASEMENT DEDICATED TO THE CITY OF MILFORD.
 - THE CITY OF MILFORD ACCEPTS PERPETUAL MAINTENANCE OF THE BIKE PATH.
 - THE HOA IS INDEMNIFIED FROM ANY LIABILITY REGARDING THE BIKE PATH.
 - THE DEVELOPER IS RESPONSIBLE FOR THE INITIAL CONSTRUCTION ONLY OF THE BIKE PATH.
- A 15' WIDE LANDSCAPE BUFFER IS PROPOSED ALONG ROUTE 1 THAT WILL INCLUDE A LANDSCAPE SCREEN AND/OR A 6' HIGH FENCE. A LANDSCAPE PLAN WILL BE SUBMITTED DURING THE CONSTRUCTION PLAN REVIEW PHASE.
- BUILDING SIZES AND DIMENSIONS SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE.
- ALL STORM DRAIN PIPING SHALL HAVE A 20' BLANKET EASEMENT CENTERED ON THE PIPE FOR THE CITY OF MILFORD TO PERFORM MAINTENANCE OF THE STORM DRAIN SYSTEM.
- PER 230-11 OF THE CITY'S ZONING CODE, AT LEAST THREE DIFFERENT ARCHITECTURAL PLANS HAVING SUBSTANTIALLY DIFFERENT DESIGNS AND BUILDING MATERIALS WITHIN EACH GROUP OF TOWNHOMES IS REQUIRED.



DATA COLUMN

TAX MAP ID: 3-30-16.00-5.00
 DATUM: NAVD 88
 VERTICAL: NAD 83 (DE STATE PLANE)
 HORIZONTAL:
 LAND USE: AGRICULTURAL/RESIDENTIAL
 EXISTING: RESIDENTIAL
 PROPOSED:
 ZONING: R-3 (GARDEN APARTMENT AND TOWNHOUSE DISTRICT)
 UNITS: TOWNHOUSE LOTS: 203
 MINIMUM LOT SIZE: 20' X 100' (2,000 S.F.)
 AVERAGE LOT SIZE: 0.055 AC. (2,387.2 S.F.)

(R-3) ZONING REQUIREMENTS (TOWNHOUSES):
 MAXIMUM DWELLING UNITS PER ACRE: 12
 MAXIMUM DWELLING UNITS PER BUILDING: 8
 MAXIMUM BUILDING COVERAGE: 60%
 MINIMUM SIDE BUILDING SEPARATION DISTANCE: 30 FT
 MINIMUM FRONT BLDG SEPARATION DISTANCE: 60 FT
 MINIMUM LOT SIZE: 1 ACRE
 MINIMUM LOT AREA PER DWELLING UNIT: 2,000 S.F.
 MINIMUM DESIGNATED OPEN SPACE AREA: 400 S.F. PER UNIT X 203 UNITS = 81,200 S.F.
 MINIMUM RECREATIONAL OPEN SPACE AREA: 50% OF REQUIRED OPEN SPACE (40,600) 2,217 ACRES
 MAXIMUM BUILDING HEIGHT: THREE STORIES OR 35'
 (R-3) REQUIRED PARKING SPACES: TOWNHOUSE: 2.50 SPACES PER UNIT 203 UNITS X 2.5= 508 SPACES 609 SPACES

AREAS:
 EXISTING SITE
 GROSS SITE AREA: 39,134 AC.
 WETLANDS (INCLUDED IN SITE AREA): 5,402 AC.
 DELDOT RIGHT-OF-WAY DEDICATION: -0.119 AC.
 SITE AREA: 39,015 AC.

PROPOSED SITE
 LOT AREA: 12,106 AC.
 RIGHT-OF-WAY: 7,443 AC.
 OPEN SPACE (TOTAL): 14,064 AC. (36.05%)
 OPEN SPACE A: 5,331 AC.
 OPEN SPACE B: 2,287 AC.
 OPEN SPACE C: 1,890 AC.
 OPEN SPACE D: 1,108 AC.
 OPEN SPACE E: 0,126 AC.
 OPEN SPACE F: 0,121 AC.
 OPEN SPACE G: 2,974 AC.
 OPEN SPACE H: 0,051 AC.
 OPEN SPACE I: 0,084 AC.
 OPEN SPACE J: 0,092 AC.

WETLANDS: 5,402 AC. (13.84%)
 SITE AREA: 39,015 AC.
 IMPERVIOUS AREAS:
 BUILDINGS: 3,728 AC.
 PAVEMENT (STREETS): 8,852 AC.
 CURBING: 0,507 AC.
 SIDEWALK: 1,182 AC.
 PARKING (DRIVEWAY): 2,613 AC.
 SHARED-USE-PATH: 4,408 AC.
 TOTAL IMPERVIOUS AREAS: 12,290 AC. (31.50%)

SITE CONTAINS A WELL-HEAD PROTECTION AREA PER DNRC.
 WELL HEAD PROTECTION AREA: 1,971 AC.
 IMPERVIOUS AREAS:
 PAVEMENT (STREETS): 0,122 AC.
 CURBING: 0,062 AC.
 SIDEWALK: 0,036 AC.
 ACCESS DRIVEWAY: 0,049 AC.
 SHARED-USE-PATH: 0,285 AC. (14.46%)
 TOTAL IMPERVIOUS AREAS: 0,285 AC. (14.46%)

PROPOSED SWM DISCHARGE LOCATIONS:
 POND 1: (N:322,064 E:666,050)
 POND 2: (N:321,420 E:666,756)

UTILITIES
 SEWER PROVIDER: CITY OF MILFORD
 WATER PROVIDER: CITY OF MILFORD
 ELECTRIC PROVIDER: CITY OF MILFORD
 PROPOSED BUILDING CONSTRUCTION: WOOD/CONCRETE BLOCK NFPA TYPE V

PROJECTED SEWER FLOW: 203 EDUS 50,750 GPD (AVERAGE) 152,250 GPD (PEAK)

WETLANDS - THIS PROPERTY CONTAINS ACUE NON-TIDAL WETLANDS (5,402 ACRES).

FLOODPLAIN - THE PROPERTY IS IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 10005C0044K DATED MARCH 16, 2015.

THIS PROPERTY IS LOCATED 1440± TO THE SOUTHWEST OF THE INTERSECTION OF JOHNSON ROAD (SCR 207) AND COASTAL HWY (US ROUTE 1).

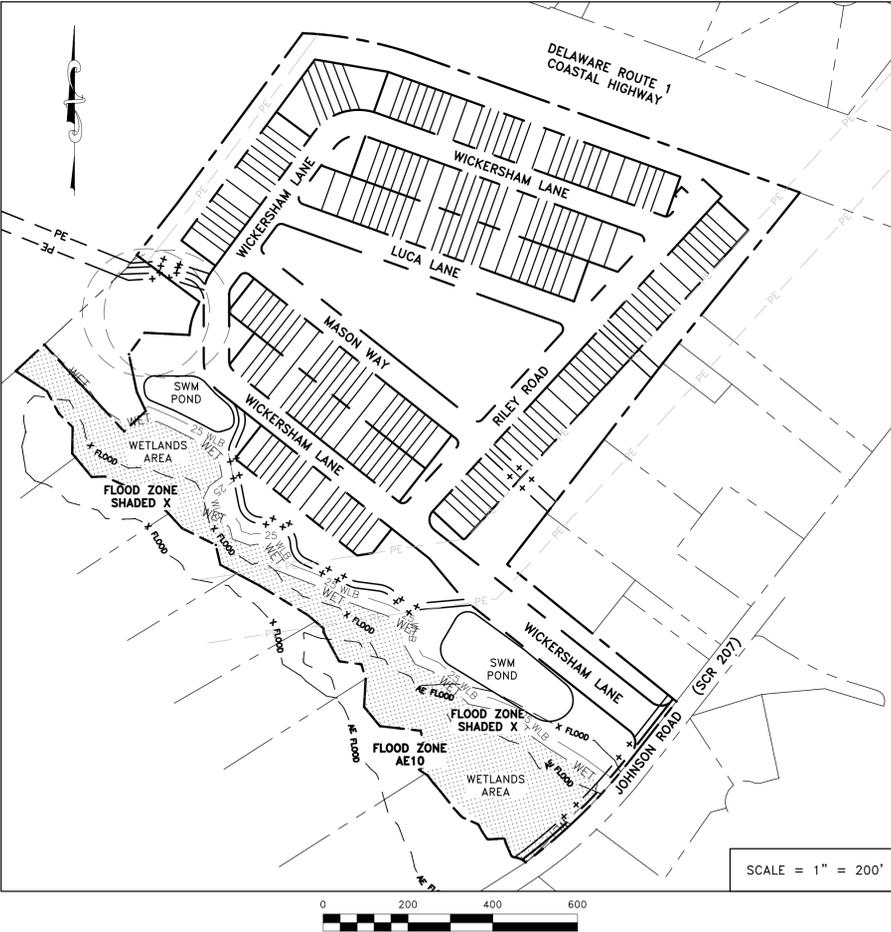
JOHNSON ROAD POSTED SPEED LIMIT: 50 M.P.H.
 PROPERTY OWNER: CCM-KOELIG, LLC.
 4600 NEW LINDEN HILL ROAD
 SUITE 102
 WILMINGTON, DE 19808
 (302) 998-9463
 (302) 998-2926 (FAX)
 ENGINEER: DAVIS, BOWEN, & FRIEDEL, INC.
 CLIFTON D. MUMFORD, P.E.
 1 PARK AVENUE
 MILFORD, DE 19963
 PHONE: 302-424-1441
 FAX: 302-424-0430

OWNERS STATEMENT
 WE, CCM-KOELIG, LLC, HEREBY STATE THAT WE ARE THE LEGAL OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO THE LAW.

ENGINEER'S STATEMENT
 I, CLIFTON D. MUMFORD, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

WETLANDS STATEMENT
 ENVIRONMENTAL RESOURCES, INC. (ERI) COMPLETED A WETLAND DELINEATION OF THIS 40-ACRE PARCEL (330-16.00-5.00) ON THE SOUTH SIDE OF COASTAL HIGHWAY IN SUSSEX COUNTY, DELAWARE, DURING THE SPRING OF 2020. ABOUT TWO-THIRDS OF THE LAND WAS IN AGRICULTURAL PRODUCTION PRIOR TO THE CLEAN WATER ACT OF 1972. THE NORMAL CONDITION IS THE PRESENCE OF A COMMODITY CROP. BACKGROUND INFORMATION FOR THIS TRACT INDICATED THAT WETLANDS WERE LIKELY ON THE SOUTH SIDE OF THIS SITE IN THE WOODS ADJACENT TO AN UNNAMED TRIBUTARY TO CEDAR CREEK. ERI INSPECTED THIS SITE FOR THE PRESENCE OF JURISDICTIONAL WATERS, INCLUDING NONTIDAL WETLANDS, ACCORDING TO THE CORPUS OF ENGINEERS WETLANDS DELINEATION MANUAL (1987), THE ATLANTIC AND GULF COASTAL PLAIN SUPPLEMENT (2010), ASSOCIATED GUIDANCE IN AFFECT AT THAT TIME AND BEST PROFESSIONAL JUDGMENT. ONSITE SOIL OBSERVATIONS FOUND CONDITIONS THROUGHOUT THIS AGRICULTURAL FIELD SIMILAR TO USDA MAPPING IN THE VICINITY. WETLANDS WERE DELINEATED TO AN EXTENT SIMILAR TO NATIONAL WETLANDS INVENTORY MAPPING. ERI FLAGGED THESE CORPUS JURISDICTIONAL WETLANDS. FLAGGING WAS SURVEYED BY DBF AND ADDED TO THE PLANS AS OF THIS DATE. NO JURISDICTIONAL DETERMINATION VERIFICATION HAS BEEN REQUESTED FROM CORPUS OF ENGINEERS.

CITY OF MILFORD APPROVAL	
MARK WHITFIELD	CITY MANAGER
DATE	DATE
CITY PLANNING DEPARTMENT APPROVAL	
PLANS HAVE BEEN REVIEWED AND ARE FOUND TO BE IN GENERAL CONFORMANCE WITH THE MOST RECENTLY ADOPTED AND/OR CERTIFIED VERSIONS OF THE CITY OF MILFORD'S CODE OF ORDINANCES AND COMPREHENSIVE LAND USE PLAN, THE OWNER AND THEIR ENGINEER AND/OR SURVEYOR ASSUME ALL RESPONSIBILITY FOR THE DESIGN AS CONTEMPLATED HEREIN AND ACCURACY OF ALL INFORMATION SHOWN HEREON.	
CITY ENGINEER APPROVAL	
CONSTRUCTION IMPROVEMENTS PLANS HAVE BEEN REVIEWED AND ARE FOUND TO BE IN GENERAL CONFORMANCE WITH THE CITY OF MILFORD'S STANDARD SPECIFICATIONS FOR INSTALLATION OF UTILITY CONSTRUCTION PROJECTS AND SUBDIVISION PAVEMENT DESIGN. THE OWNER AND THEIR ENGINEER AND/OR SURVEYOR ASSUME ALL RESPONSIBILITY FOR THE DESIGN AS CONTEMPLATED HEREIN AND ACCURACY OF ALL INFORMATION SHOWN HEREON.	
CITY ENGINEER	DATE



EXISTING	LEGEND	PROPOSED
RIGHT-OF-WAY	RIGHT-OF-WAY / BOUNDARY LINE	PROPERTY LINE
ADJACENT PROPERTY LINE	SETBACK	EASEMENT
EASEMENT	BUFFER	STORM SEWER IDENTIFICATION, CATCH BASIN, PIPE
DELMARVA POWER LINES	STORM SEWER IDENTIFICATION, MANHOLE, PIPE, FLOW ARROW, PIPE SIZE	SANITARY SEWER IDENTIFICATION, MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
SWALE/DRAINAGE DITCH	WATER MAIN, TEE W/ VALVES, PIPE SIZE	WATER MAIN, TEE W/ VALVES, PIPE SIZE
CONTOUR	FIRE HYDRANT ASSEMBLY	FIRE HYDRANT ASSEMBLY
CATCH BASIN, STORM PIPE	UTILITY POLE	TREE LINE
SANITARY SEWER MANHOLE, PIPE	SIGN	PAVEMENT
WATER MAIN	FENCE	SIDEWALK
FIRE HYDRANT ASSEMBLY	TREE	TREE LINE
UTILITY POLE	TREE LINE	WETLANDS
SIGN	WETLANDS	25FT WETLANDS BUFFER
FENCE	25FT WETLANDS BUFFER	FLOOD PLAIN
TREE	FLOOD PLAIN	PAVEMENT
TREE LINE	PAVEMENT	

THOMAS P. NOBLE, PWS NO. 000389
 SOCIETY OF WETLANDS SCIENTISTS
 CORPUS OF ENGINEERS, CERTIFIED WETLAND DELINEATOR WDCP93MD0310001A

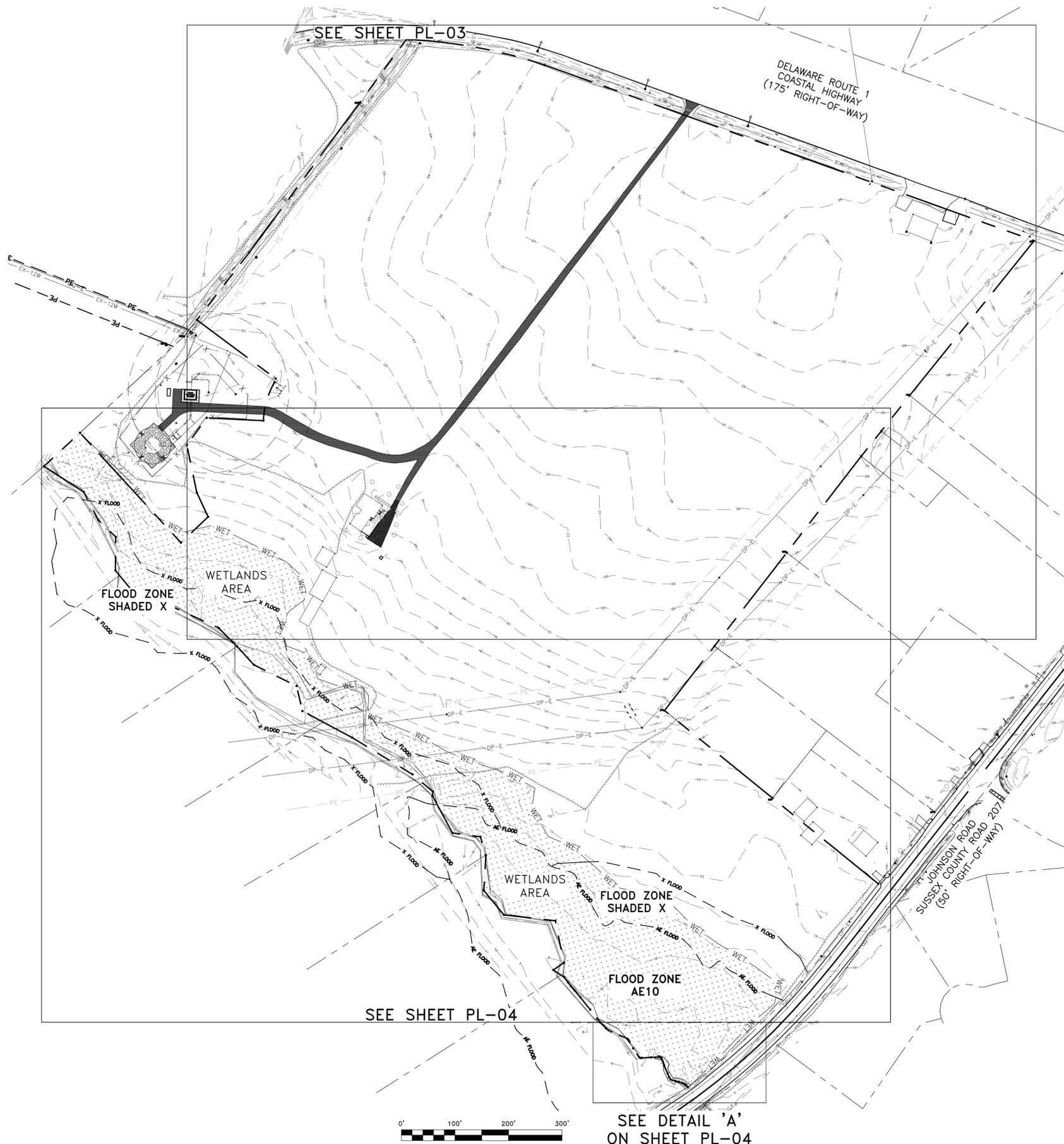
ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 1000 MARKET STREET
 MILFORD, DELAWARE 19963
 (302) 424-1441
 (302) 424-0430
 (410) 770-4714

WICKERSHAM
 CITY OF MILFORD
 CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

Revisions:
 2021-02-05: KCI
 2021-05-03: KCI
 2021-06-18: KCI
 Date: NOVEMBER 2020
 Scale: AS NOTED
 Dwn. By: YGW
 Proj. No.: 3402A001
 Dwg. No.: PL-01

DEMOLITION & SAFETY GENERAL NOTES

1. MISS UTILITY OF DELMARVA SHALL BE NOTIFIED THREE CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
2. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA.
3. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE ROAD WAY, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL, REGULATORY, WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE. THE COST SHALL BE INCLUDED IN THE COST OF ITEMS BID.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY AND PROTECTION.
5. DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM. ADDITIONAL COSTS WILL BE NEGOTIATED WITH THE OWNER.
6. DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL WORK MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
7. PROPER DISCONNECTION OF EXISTING STRUCTURES FROM COUNTY SEWER SHALL BE COMPLETE AND INSPECTED BY COUNTY PERSONNEL PRIOR TO DEMOLITION OF STRUCTURES OR COMMENCEMENT OF SITE WORK. CONTACT THE SUSSEX COUNTY UTILITY PERMITS SECTION AT 302-855-7719, JAYNE DICKERSON, DIRECTOR; TO OBTAIN DISCONNECT PERMITS FOR THE SEWER CLEANOUTS FOR EACH RESIDENTIAL DWELLING. A DISCONNECT PERMIT WILL BE REQUIRED BEFORE DEMOLITION BEGINS.



SEE SHEET PL-03

DELAWARE ROUTE 1
COASTAL HIGHWAY
(175' RIGHT-OF-WAY)

FLOOD ZONE
SHADED X

WETLANDS
AREA

WETLANDS
AREA

FLOOD ZONE
SHADED X

FLOOD ZONE
AE10

SEE SHEET PL-04

SEE DETAIL 'A'
ON SHEET PL-04



P:\CCM - Koellig - 3402\Wickersham\Design\Primary\3402A001 - EXISTING CONDITIONS-DEMO PLAN.dwg, Jun 21, 2021 - 9:59am GRED

DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS ENGINEERS SURVEYORS
1000 MARKET STREET, SUITE 200
MILFORD, DELAWARE 19967
(302) 424-1411
(410) 770-4744

**WICKERSHAM
CITY OF MILFORD
CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE**

Revisions:
2021-02-05: KCI
2021-05-03: KCI
2021-06-18: KCI

Date: **APRIL 2021**
Scale: **1"=100'**
Dwn.By: **DEG**
Proj.No.: **3402A001**
Dwg.No.:

PL-02

EXISTING CONDITIONS-DEMO PLAN OVERVIEW



NOW OR FORMERLY:
BAYHEALTH MEDICAL CENTER INC
330-11.00-6.00
BK: 4890 PG: 125
ZONING: C-3

NOW OR FORMERLY:
CITY OF MILFORD
330-16.00-4.75.00
BK: 4227 PG: 263
ZONING: R-3

NOW OR FORMERLY:
ROBIN LYNN GALLAHAN
& JENNIFER FISHER
BEVERLY JOY STILLWELL
& JESSICA LEHNE
330-16.00-1.02
BK: 3033 PG: 128
ZONING: AR-1

NOW OR FORMERLY:
MICHAEL ANTHONY WHALEY &
MICHAEL ALEXANDER WHALEY
330-16.00-6.00
BK: 4264 PG: 29
ZONING: AR-1

NOW OR FORMERLY:
JANE E JONES
330-16.00-6.01
BK: 3565 PG: 91
ZONING: AR-1

NOW OR FORMERLY:
IGLESIA PENTECOSTAL LA
SENDA ANTIGUA MILFORD INC
330-16.00-7.00
BK: 4898 PG: 169
ZONING: AR-1

NOW OR FORMERLY:
BRANDY L ZIMMERMAN
330-16.00-9.01
BK: 5176 PG: 132
ZONING: AR-1



dbf DAVIS, BOWEN & FRIEDEL, INC. ARCHITECTS ENGINEERS SURVEYORS
 1501 S. MAIN ST. SUITE 200
 MILFORD, DELAWARE 19966
 (302) 424-1441
 (302) 424-1441
 (410) 770-4714

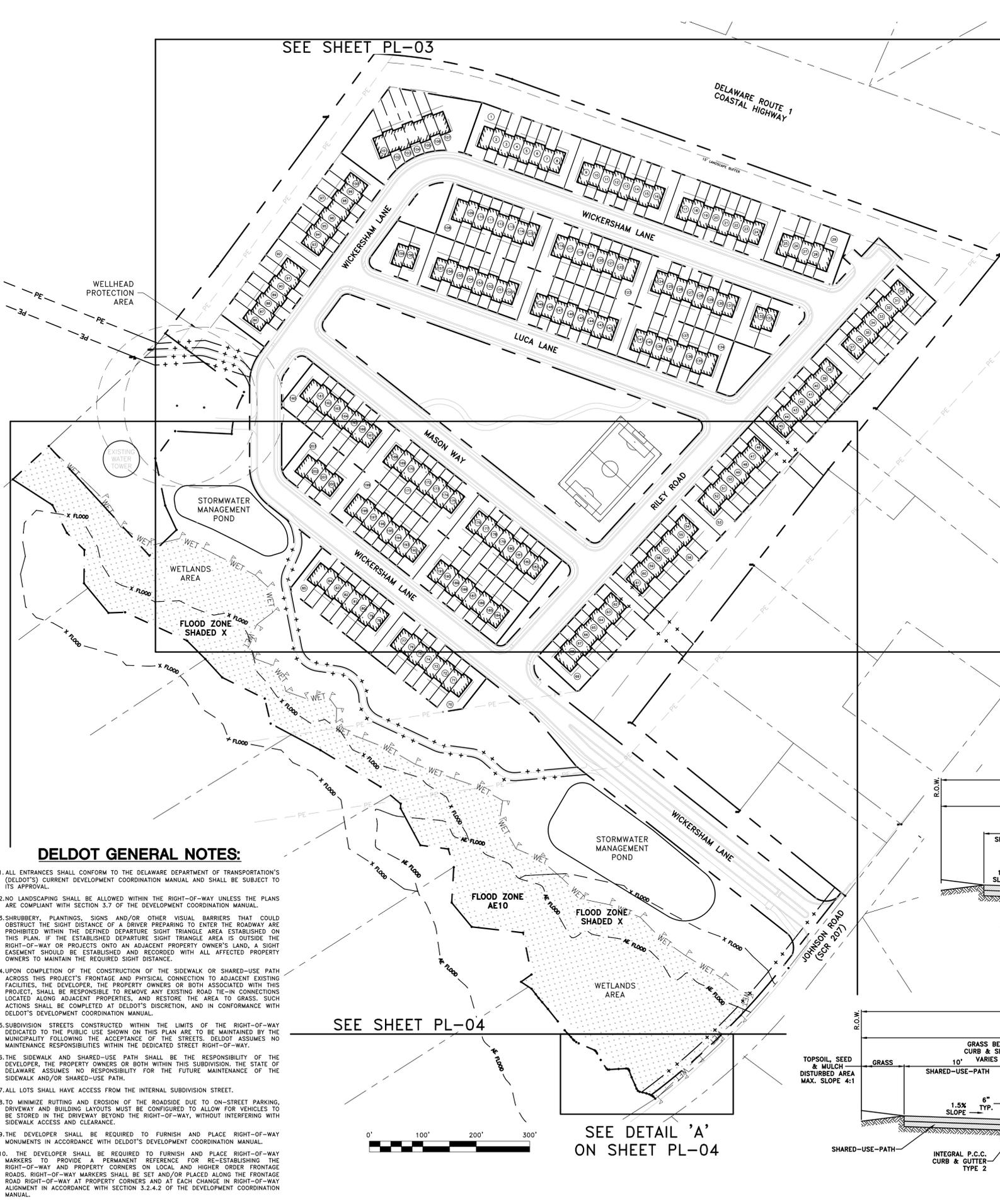
**WICKERSHAM
CITY OF MILFORD
CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE**

Revisions:
 2021-02-05: KCI
 2021-05-03: KCI
 2021-06-18: KCI

Date: **APRIL 2021**
 Scale: **1"=50'**
 Dwn.By: **DEG**
 Proj.No.: **3402A001**
 Dwg.No.: **PL-03**

PL-03

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WETLANDS LINE TABLE

LINE	BEARING	DISTANCE
WL1	S 32°58'05" E	165.01
WL2	S 58°45'30" E	166.39
WL3	N 76°40'20" E	155.23
WL4	S 67°08'15" E	148.18
WL5	S 63°38'02" E	155.08
WL6	S 62°09'57" E	153.79
WL7	S 47°18'08" E	152.05
WL8	S 11°01'51" E	148.43
WL9	S 52°57'33" W	137.33
WL10	S 29°50'40" W	130.39
WL11	S 15°01'49" E	137.91
WL12	S 69°56'08" E	136.73
WL13	S 37°36'45" E	128.53
WL14	S 13°11'25" E	126.33
WL15	S 70°24'57" E	144.12
WL16	S 72°22'46" E	116.13
WL17	S 86°04'18" E	124.81
WL18	S 36°09'13" E	122.34
WL19	S 02°25'09" W	126.51
WL20	S 01°30'38" W	111.06
WL21	S 68°42'23" E	153.21
WL22	S 68°51'48" E	151.41
WL23	S 60°13'58" E	156.85
WL24	S 69°38'08" E	177.59
WL25	S 1°34'40" E	146.30
WL26	S 60°34'34" E	151.96
WL27	S 08°27'55" W	136.26
WL28	S 29°44'54" E	162.24
WL29	S 67°30'38" E	145.72
WL30	S 49°31'07" E	157.97
WL31	S 46°03'08" E	156.43
WL32	S 82°24'23" W	148.53
WL33	S 67°49'34" E	161.42
WL34	S 44°21'01" E	153.73
WL35	S 1°25'56" E	166.30
WL36	S 56°24'10" E	179.47
WL37	S 53°40'25" E	156.86
WL38	S 13°49'35" W	136.86
WL39	S 9°51'22" W	154.50
WL40	S 44°01'17" W	154.91
WL41	S 43°02'48" W	142.61
WL42	S 45°59'31" W	166.90

PROPERTY CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C-1	958.00'	263.27'	262.45'	N 79°35'22" E	15°44'45"
C-2	20.00'	7.12'	7.08'	S 19°10'32" W	20°24'02"
C-3	162.00'	75.06'	74.39'	S 16°06'07" W	26°32'51"
C-4	1348.63'	349.35'	348.41'	N 45°42'11" E	14°50'36"

RIGHT-OF-WAY CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
RC-1	1338.63'	349.33'	348.34'	N 45°45'27" E	14°57'07"
RC-2	36.22'	41.24'	39.05'	N 11°54'42" W	65°14'34"
RC-3	90.00'	81.24'	78.51'	S 25°51'31" E	51°43'02"
RC-4	90.00'	57.38'	56.41'	S 18°15'54" W	36°31'48"
RC-5	130.00'	165.91'	154.88'	S 73°02'28" W	73°07'20"
RC-6	14.54'	17.45'	16.42'	N 75°51'41" E	68°45'50"
RC-7	30.00'	49.42'	44.02'	S 04°31'15" E	94°23'34"
RC-8	36.22'	41.24'	39.05'	N 88°28'38" E	65°14'34"
RC-9	15.00'	22.41'	20.38'	N 85°28'45" E	85°36'26"
RC-10	30.00'	27.08'	26.17'	S 25°51'31" E	51°43'02"
RC-11	30.00'	19.13'	18.80'	S 18°15'54" W	36°31'48"
RC-12	15.00'	24.02'	21.54'	S 82°24'23" W	91°45'10"
RC-13	15.00'	24.71'	22.01'	N 04°31'15" W	94°23'34"
RC-14	15.00'	22.41'	20.38'	N 85°28'45" E	85°36'26"
RC-15	15.00'	23.10'	20.89'	S 07°55'57" E	89°45'50"
RC-16	15.00'	19.14'	17.87'	S 73°02'28" W	73°07'20"
RC-17	15.00'	29.59'	25.02'	N 13°01'10" W	113°01'24"
RC-18	15.00'	17.53'	16.55'	N 76°09'50" E	66°58'36"
RC-19	15.00'	27.99'	24.10'	S 16°54'32" E	106°52'40"
RC-20	70.00'	89.34'	83.40'	S 73°02'28" W	73°07'20"
RC-21	15.00'	29.59'	25.02'	N 13°50'10" W	113°01'24"

LOT CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
LC1	30.00'	18.68'	18.38'	S 35°52'40" E	35°40'45"
LC2	15.00'	1.11'	1.11'	S 83°50'08" W	4°11'11"
LC3	15.00'	27.98'	24.10'	S 16°54'32" E	106°52'40"
LC4	15.00'	29.59'	25.02'	N 13°50'10" W	113°01'24"
LC5	70.00'	7.34'	7.34'	N 73°21'09" W	6°00'33"
LC6	130.00'	22.15'	22.13'	S 41°24'42" W	9°45'48"
LC7	130.00'	21.05'	21.03'	S 50°55'56" W	9°13'39"
LC8	130.00'	20.26'	20.24'	S 60°21'11" W	8°55'50"
LC9	130.00'	20.26'	20.24'	S 68°54'48" W	8°49'24"
LC10	130.00'	20.26'	20.24'	S 77°47'25" W	8°55'50"
LC11	130.00'	21.05'	21.03'	S 86°53'40" W	9°16'39"
LC12	130.00'	33.74'	33.64'	N 81°01'55" W	14°52'11"
LC13	130.00'	7.37'	7.37'	S 31°45'58" W	31°45'58"
LC14	14.54'	5.85'	5.81'	S 81°17'15" E	23°03'42"

LOT AREA SUMMARY

Lot	Sq. Feet	Acres
1	3901	0.0896
2	2000	0.0459
3	2000	0.0459
4	2000	0.0459
5	2000	0.0459
6	2000	0.0459
7	2000	0.0459
8	3900	0.0895
9	3900	0.0895
10	2000	0.0459
11	2000	0.0459
12	2000	0.0459
13	2000	0.0459
14	2000	0.0459
15	2000	0.0459
16	3900	0.0895
17	3900	0.0895
18	2000	0.0459
19	2000	0.0459
20	2000	0.0459
21	2000	0.0459
22	2000	0.0459
23	2000	0.0459
24	3900	0.0895
25	3900	0.0895
26	2000	0.0459
27	2000	0.0459
28	2000	0.0459
29	3888	0.0895
30	3900	0.0895
31	2000	0.0459
32	2000	0.0459
33	2000	0.0459
34	2000	0.0459
35	2000	0.0459
36	2000	0.0459
37	3900	0.0895
38	3900	0.0895
39	2000	0.0459
40	2000	0.0459
41	2000	0.0459

LOT AREA TABLES

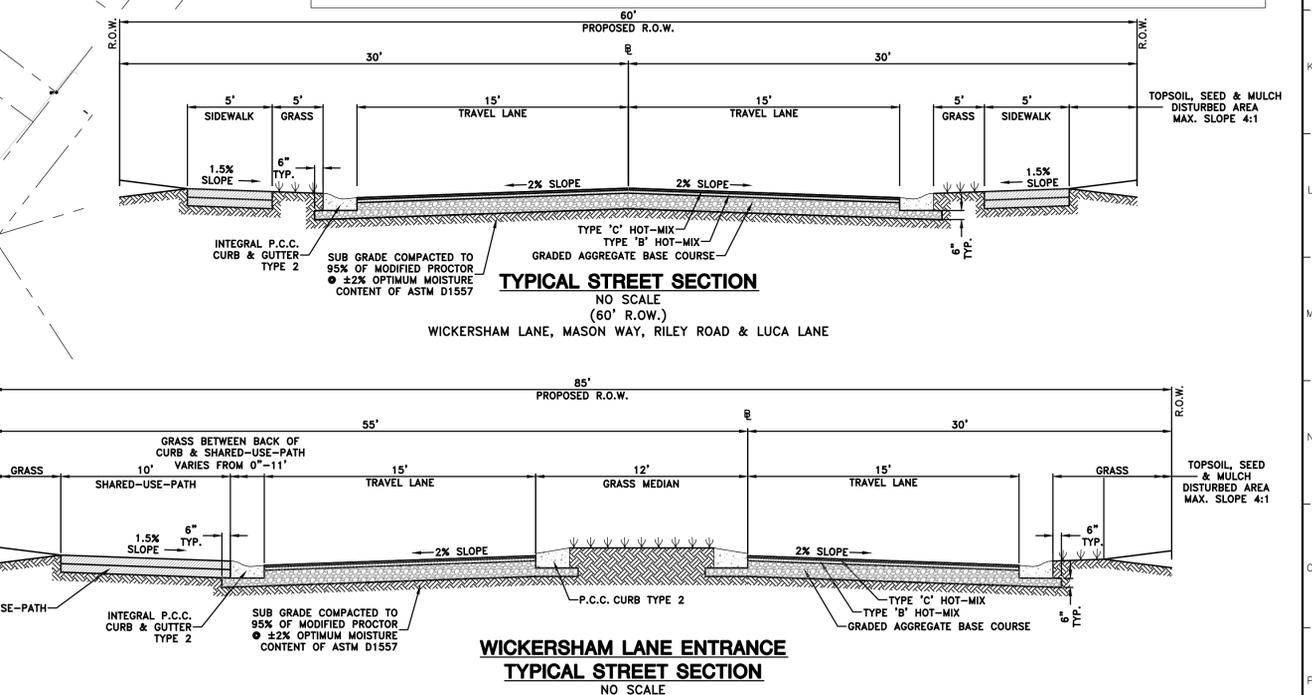
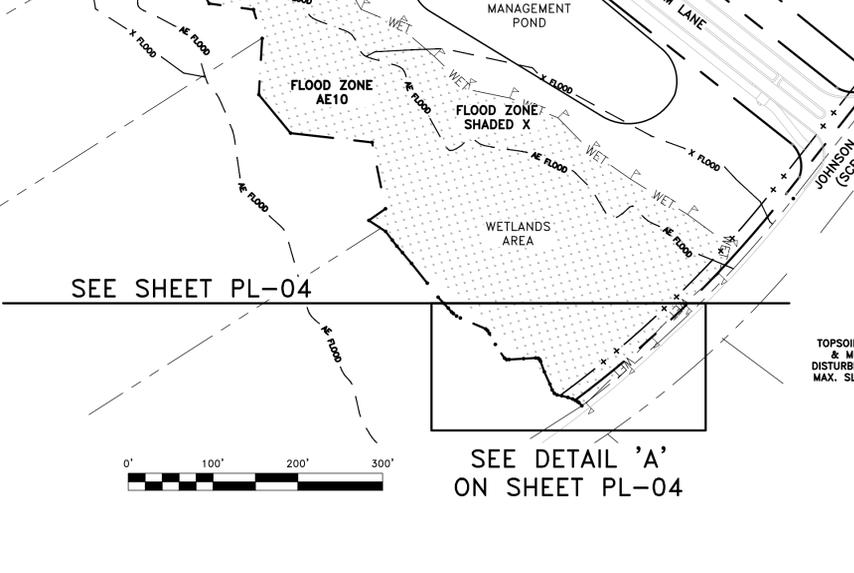
Lot	Sq. Feet	Acres
83	2000	0.0459
84	2000	0.0459
85	3488	0.0801
86	3900	0.0895
87	2000	0.0459
88	2000	0.0459
89	2000	0.0459
90	2000	0.0459
91	2000	0.0459
92	3900	0.0895
93	3900	0.0895
94	2000	0.0459
95	2000	0.0459
96	2000	0.0459
97	2000	0.0459
98	2000	0.0459
99	3900	0.0895
100	3900	0.0895
101	6952	0.1596
102	2459	0.0567
103	2827	0.0653
104	2687	0.0617
105	2490	0.0572
106	2349	0.0539
107	7069	0.1623
108	3900	0.0895
109	2000	0.0459
110	2000	0.0459
111	2000	0.0459
112	2000	0.0459
113	2000	0.0459
114	2000	0.0459
115	3900	0.0895
116	3900	0.0895
117	2000	0.0459
118	2000	0.0459
119	2000	0.0459
120	2000	0.0459
121	2000	0.0459
122	2000	0.0459
123	3900	0.0895

RIGHT-OF-WAY LINE TABLE

LINE	BEARING	DISTANCE
RL1	S 42°40'51" W	39.83'
RL2	S 40°00'00" E	6.51'
RL3	S 42°40'51" W	24.50'
RL4	N 47°19'29" W	24.50'
RL5	S 42°40'51" W	47.50'

DELDOT GENERAL NOTES:

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- NO LANDSCAPING SHALL BE ALLOWED WITHIN THE RIGHT-OF-WAY UNLESS THE PLANS ARE COMPLIANT WITH SECTION 3.7 OF THE DEVELOPMENT COORDINATION MANUAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO ADJACENT EXISTING FACILITIES, THE DEVELOPER, THE PROPERTY OWNERS OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- SUBDIVISION STREETS CONSTRUCTED WITHIN THE LIMITS OF THE RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE SHOWN ON THIS PLAN ARE TO BE MAINTAINED BY THE MUNICIPALITY FOLLOWING THE ACCEPTANCE OF THE STREETS. DELDOT ASSUMES NO MAINTENANCE RESPONSIBILITIES WITHIN THE DEDICATED STREET RIGHT-OF-WAY.
- THE SIDEWALK AND SHARED-USE PATH SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION, THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK AND/OR SHARED-USE PATH.
- ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET.
- TO MINIMIZE RUTTING AND EROSION OF THE ROADSIDE DUE TO ON-STREET PARKING, DRIVEWAY AND BUILDING LAYOUTS MUST BE CONFIGURED TO ALLOW FOR VEHICLES TO BE STORED IN THE DRIVEWAY BEYOND THE RIGHT-OF-WAY, WITHOUT INTERFERING WITH SIDEWALK ACCESS AND CLEARANCE.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MARKERS TO PROVIDE A PERMANENT REFERENCE FOR RE-ESTABLISHING THE RIGHT-OF-WAY AND PROPERTY CORNERS ON LOCAL AND HIGHER ORDER FRONTAGE ROADS. RIGHT-OF-WAY MARKERS SHALL BE SET AND/OR PLACED ALONG THE FRONTAGE ROAD RIGHT-OF-WAY AT PROPERTY CORNERS AND AT EACH CHANGE IN RIGHT-OF-WAY ALIGNMENT IN ACCORDANCE WITH SECTION 3.2.4.2 OF THE DEVELOPMENT COORDINATION MANUAL.



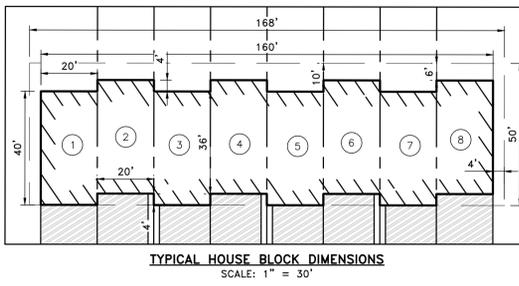
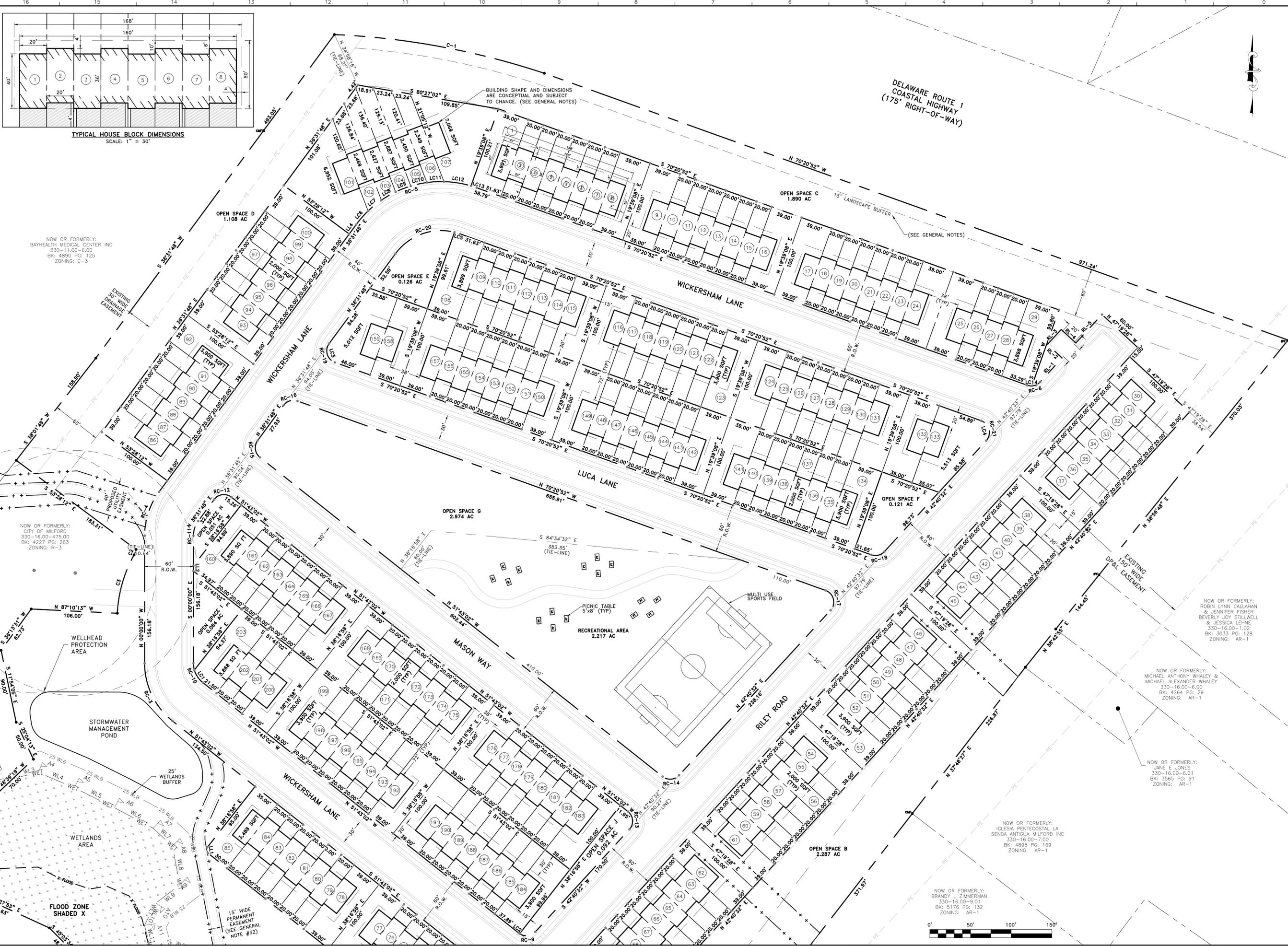
WICKERSHAM
CITY OF MILFORD
CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

Revisions:
2021-02-05: KCI
2021-05-03: KCI
2021-06-18: KCI

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Dwn. By: YGW
Proj. No.: 3402A001
Dwg. No.: PL-05

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CITY OF MILFORD, DELAWARE
EASTON, MARYLAND
(302) 634-3888
(302) 634-1441
(410) 770-4714

PRELIMINARY PLAN OVERVIEW



NOW OR FORMERLY:
BAYHEALTH MEDICAL CENTER INC
330-11.00-6.00
BK: 4890 PG: 125
ZONING: C-3

NOW OR FORMERLY:
CITY OF MILFORD
330-16.00-475.00
BK: 4227 PG: 263
ZONING: R-3

NOW OR FORMERLY:
ROBIN LYNN CALLAHAN
& JENNIFER FISHER
BEVERLY JOY STILLWELL
& JESSICA LEHNE
330-16.00-1.02
BK: 3033 PG: 128
ZONING: AR-1

NOW OR FORMERLY:
JANE E JONES
330-16.00-6.01
BK: 3565 PG: 91
ZONING: AR-1

NOW OR FORMERLY:
IGLESIA PENTECOSTAL LA
SENDA ANTIGUA MILFORD INC
330-16.00-7.00
BK: 4898 PG: 169
ZONING: AR-1

NOW OR FORMERLY:
BRANDY L ZIMMERMAN
330-16.00-9.01
BK: 5176 PG: 132
ZONING: AR-1

DELAWARE ROUTE 1
COASTAL HIGHWAY
(175' RIGHT-OF-WAY)

BUILDING SHAPE AND DIMENSIONS
ARE CONCEPTUAL AND SUBJECT
TO CHANGE. (SEE GENERAL NOTES)

(SEE GENERAL NOTES)

15' WIDE PERMANENT
EASEMENT
(SEE GENERAL
NOTE #32)

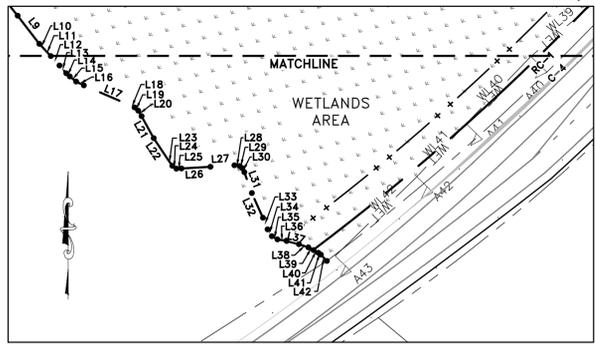
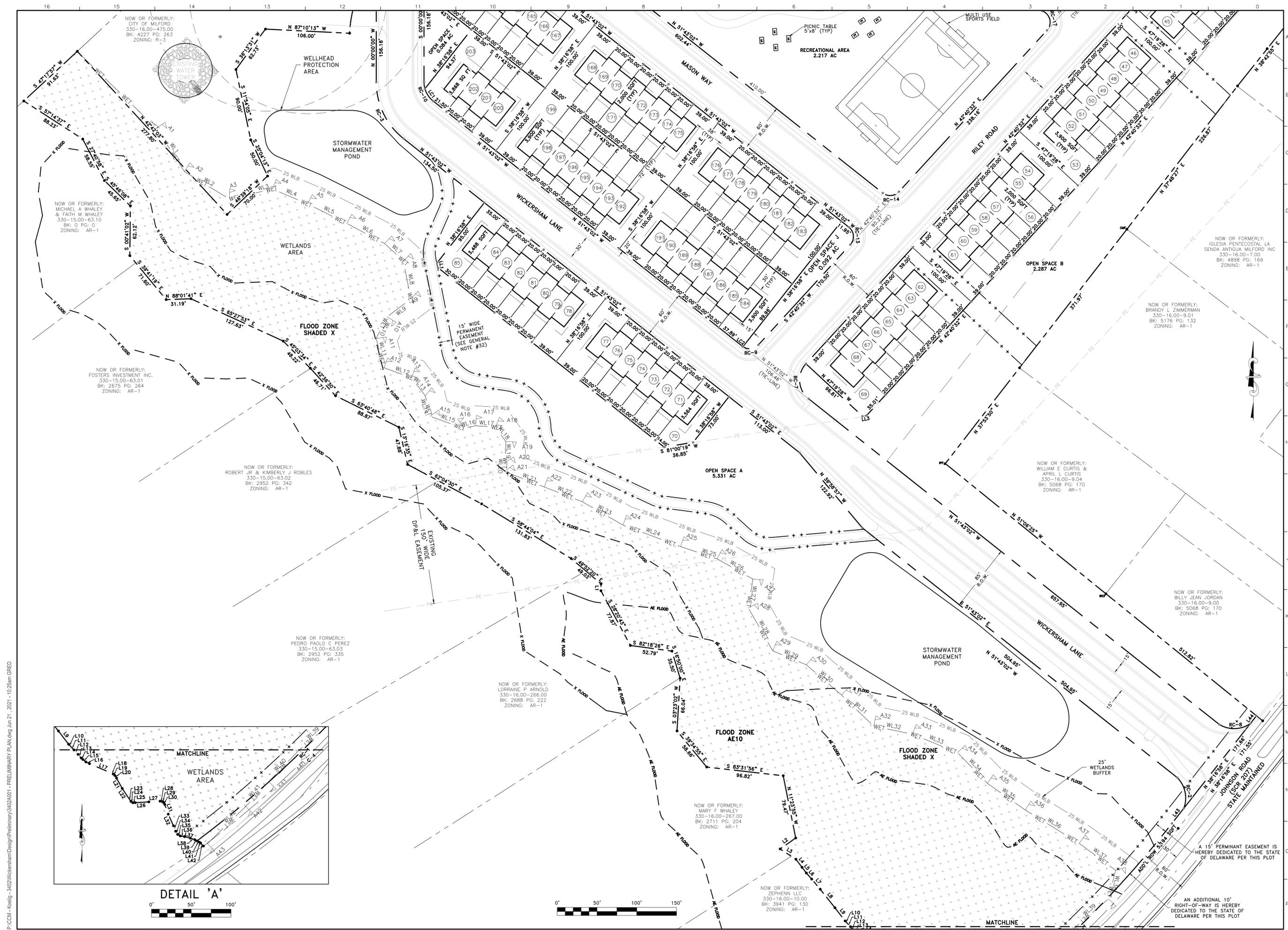
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**WICKERSHAM
CITY OF MILFORD
CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE**

Revisions:
2021-02-05: KCI
2021-05-03: KCI
2021-06-18: KCI

Date: **NOVEMBER 2020**
Scale: **1"=50'**
Dwn.By: **YGW**
Proj.No.: **3402A001**
Dwg.No.: **PL-06**

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DETAIL 'A'



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 (410) 770-4744

PRELIMINARY SITE PLAN

WICKERSHAM
CITY OF MILFORD
CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

Revisions:
 2021-02-05: KCI
 2021-05-03: KCI
 2021-06-18: KCI

Date: **NOVEMBER 2020**
 Scale: **1"=50'**
 Dwn. By: **YGW**
 Proj. No.: **3402A001**
 Dwg. No.:

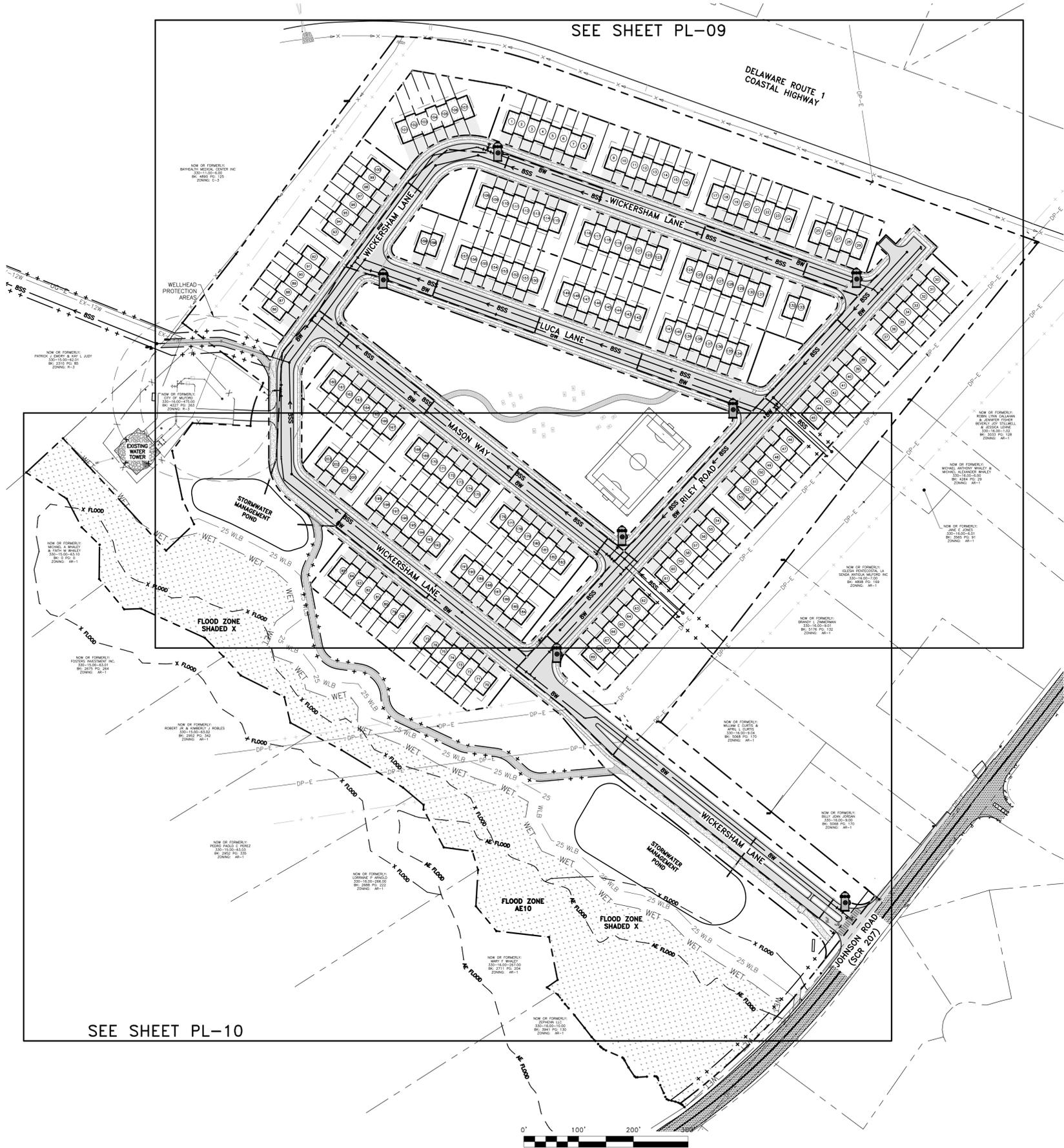
PL-07

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UTILITY PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT (302) 422-1110 A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SCHEDULE A PRE-CONSTRUCTION MEETING. THE SITE CONTRACTOR AND THE OWNER, OR HIS/HER REPRESENTATIVE SHALL BE IN ATTENDANCE. (GN37)
2. USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACKFILLING TRENCHES. (GN6)
3. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION.
4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MATERIALS AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE CITY OF MILFORD STANDARD SPECIFICATIONS FOR INSTALLATION OF UTILITY CONSTRUCTION AND SUBDIVISION PAVEMENT DESIGN, AND ALL APPLICABLE AGENCIES HAVING JURISDICTION OVER THE PROPOSED IMPROVEMENTS.
5. ALL VALVE CLOSURES AND CUT-INS SHALL BE COORDINATED WITH THE CITY. CITY OFFICIALS WILL CARRY OUT ALL NECESSARY VALVE CLOSURES. CONTRACTOR SHALL COORDINATE ISOLATION OF EXISTING WATER MAINS WITH THE CITY AND NOTIFY AFFECTED RESIDENTS AT LEAST 48 HOURS PRIOR TO CUT-IN.
6. PIPELINE DETECTION TAPE SHALL BE COLOR CODED, APPROPRIATELY LABELED, AND INSTALLED 18 INCHES BELOW THE GROUND SURFACE AND DIRECTLY ABOVE ALL PROPOSED NON-METALLIC WATER MAIN, SEWER MAIN, SEWER LATERALS, AND WATER SERVICES.
7. CONDUCTIVE TRACER WIRE SHALL BE INSTALLED WITH ALL NON-METALLIC WATER PIPE AND SERVICES; AND ALONG ALL SEWER LATERALS AND FORCEMAIN. WIRE SHALL BE SECURED TO THE PIPE AND SHALL BE SECURELY BONDED TOGETHER AT ALL WIRE JOINTS WITH APPROVED WATERTIGHT CONNECTORS. TRACER WIRE SHALL BE ACCESSIBLE AT ALL VALVE BOXES, METER PITS, CLEANOUTS, AND AIR RELEASE VALVES.
8. PRIOR TO ISOLATION AND CUT-IN PROCEDURES, CONTRACTOR SHALL EXCAVATE, LOCATE, AND OBSERVE FUNCTION OF ALL EXISTING VALVES TO ASSIST IN THE SYSTEM ISOLATION.
9. SHOP DRAWINGS FOR ANY ITEM(S) WHICH WILL EVENTUALLY BE TAKEN OVER BY THE CITY SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE ORDERING OF AND/OR INSTALLATION OF THE ITEM(S).
10. ALL SANITARY SEWER MAINS AND FORCEMAINS SHALL HAVE A MINIMUM COVER OF 36 INCHES AND ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 42 INCHES AS MEASURED FROM THE TOP OF PIPE TO PROPOSED GRADE. SEWER LATERALS SHALL HAVE A MINIMUM DIAMETER OF SIX (6) INCHES AND HAVE A MINIMUM COVER OF 36 INCHES.
11. THERE SHALL BE A MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND FORCEMAINS OF 10 FEET AS MEASURED FROM EDGE OF PIPE TO EDGE OF PIPE. THERE SHALL BE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN WATER MAINS AND SANITARY SEWER MAINS OR FORCEMAINS AT CROSSINGS. ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE AT CROSSINGS.
12. THERE SHALL BE A MINIMUM VERTICAL SEPARATION OF 12 INCHES BETWEEN ANY STORM DRAIN PIPE AND ANY WATER MAIN OR SEWER MAIN. IF 12 INCHES CANNOT BE MAINTAINED, A MINIMUM OF SIX (6) INCHES IS REQUIRED AND PROVISIONS SHALL BE MADE ACCEPTABLE TO THE CITY OF MILFORD FOR PROPERLY ENCASED THE PIPE IN CONCRETE.
13. ALL ROADWAYS ARE TO BE SWEEPED FREE OF SEDIMENT ON A DAILY BASIS.
14. THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.
15. ALL FIRE LANES, FIRE HYDRANTS, EXITS, AND STANDPIPES WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.
16. DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE EXCAVATION FOR STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE OWNER.
17. A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF DELAWARE SHALL BE RESPONSIBLE FOR PERMANENTLY RE-ESTABLISHING ANY PROPERTY MARKERS OR MONUMENTS DISTURBED DURING CONSTRUCTION. A SURVEY AND METES AND BOUNDS THAT INCLUDES THE RE-ESTABLISHED MARKER(S) OR MONUMENT(S) SHALL BE PRESENTED TO THE PROPERTY OWNER FOR COMPARISON WITH THE ORIGINAL PLAT FOR VERIFICATION.
18. THE CITY OF MILFORD WILL ASSUME OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF WATER AND SEWER PIPES AND APPURTENANCES, INSTALLED WITHIN CITY RIGHT-OF-WAY AND EASEMENTS DEDICATED TO THE CITY, STORM SEWER PIPES AND CATCH BASINS, INSTALLED FULLY WITHIN CITY RIGHT-OF-WAY; ONCE THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - A. ALL ITEMS HAVE PASSED CITY INSPECTION;
 - B. THE CITY HAS RECEIVED AND APPROVED DIGITAL AND HARD COPIES OF THE RECORD DRAWINGS; AND
 - C. THE RIGHTS-OF-WAY AND/OR EASEMENTS HAVE BEEN DEEDED TO THE CITY AND RECORDED WITH THE RECORDER OF DEEDS.
19. SEWER AND WATER CAPACITY ARE NOT GUARANTEED UNTIL BUILDING PERMITS ARE ISSUED, ALL FEES ARE PAID AND SUITABLE UTILITIES ARE IN PLACE FOR PROPER CONVEYANCE, TREATMENT AND DISPOSAL.
20. THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL CITY AND/OR AGENCY CONSTRUCTION PERMIT APPLICATIONS HAVE BEEN COMPLETED, SUBMITTED, AND ALL APPLICABLE FEES HAVE BEEN PAID PRIOR TO COMMENCING CONSTRUCTION. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR AN ANTICIPATED CONSTRUCTION START DATE THAT IS NOT MET DUE TO THE APPLICANT OR HIS/HER CONTRACTOR NOT HAVING MET THE CONSTRUCTION PERMITTING REQUIREMENTS.



SEE SHEET PL-09

SEE SHEET PL-10

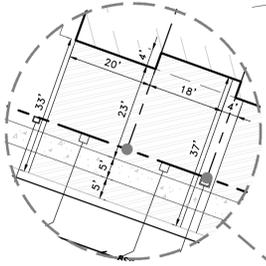
DAVIS, BOWEN & FRIEDEL, INC.
 ARCHITECTS ENGINEERS SURVEYORS
 1000 W. MARKET ST., SUITE 200
 MILFORD, DELAWARE 19363
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 (302) 424-1441
 (410) 770-4744

WICKERSHAM
 CITY OF MILFORD
 CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

Revisions:
 2021-02-05: KCI
 2021-05-03: KCI
 2021-06-18: KCI

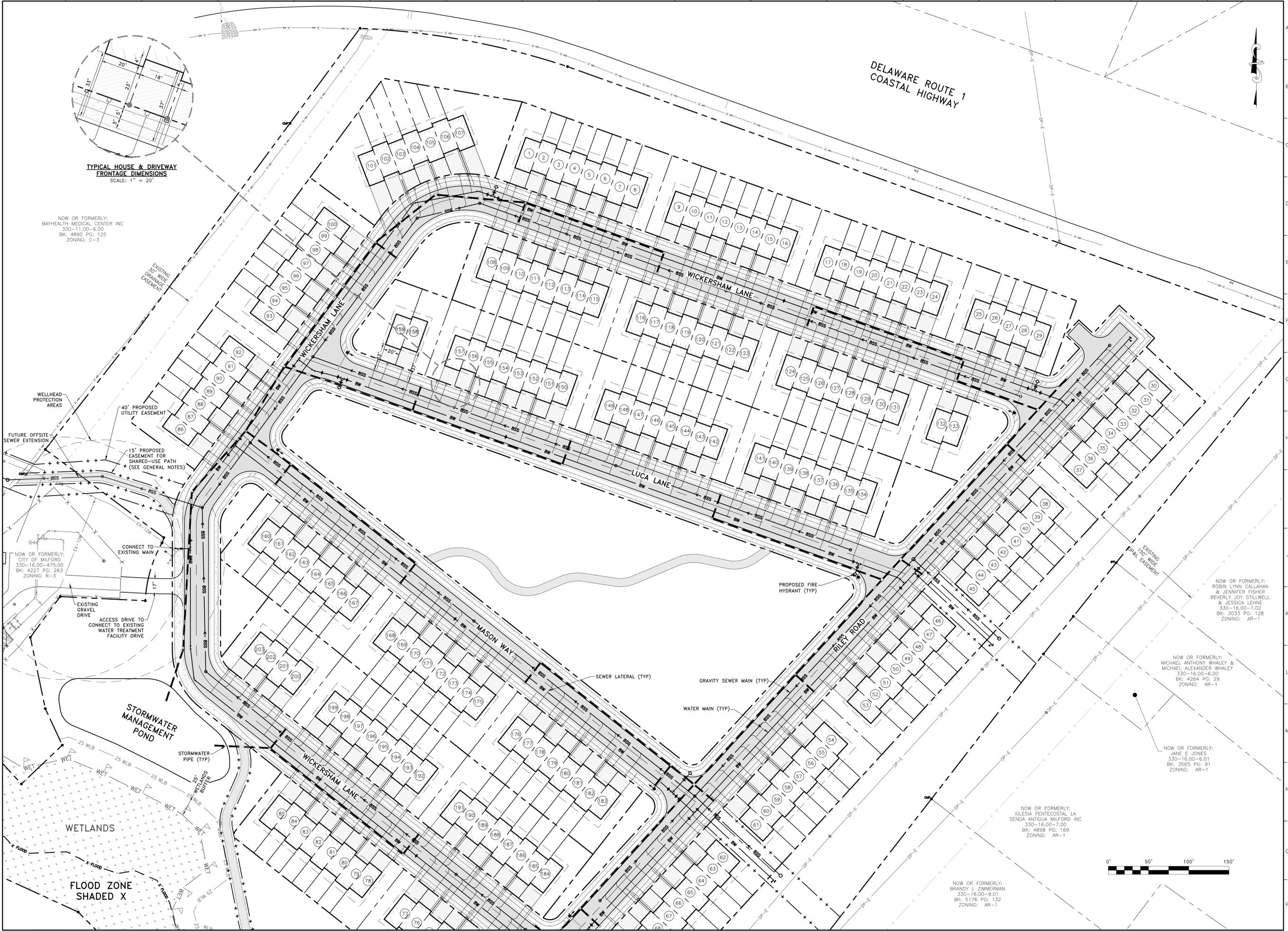
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 Dwn.By: **YGW**
 Proj.No.: **3402A001**
 Dwg.No.:

PL-08



TYPICAL HOUSE & DRIVEWAY FRONTAGE DIMENSIONS
SCALE: 1" = 20'

NOW OR FORMERLY:
BAYHEALTH MEDICAL CENTER INC
330-11.00-6.00
BK: 4890 PG: 125
ZONING: C-3



DELAWARE ROUTE 1
COASTAL HIGHWAY



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ARCHITECTS ENGINEERS SURVEYORS
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1301 MARKET STREET, SUITE 200
WILMINGTON, DELAWARE 19802
(302) 424-1441
FAX: (302) 424-1441
EASTON, MARYLAND
(410) 770-4744

PRELIMINARY UTILITY PLAN

WICKERSHAM
CITY OF MILFORD
CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE

Revisions:
2021-02-05: KCI
2021-05-03: KCI
2021-06-18: KCI

Date: **NOVEMBER 2020**
Scale: **1"=50'**
Dwn.By: **YGW**
Proj.No.: **3402A001**
Dwg.No.: **PL-09**



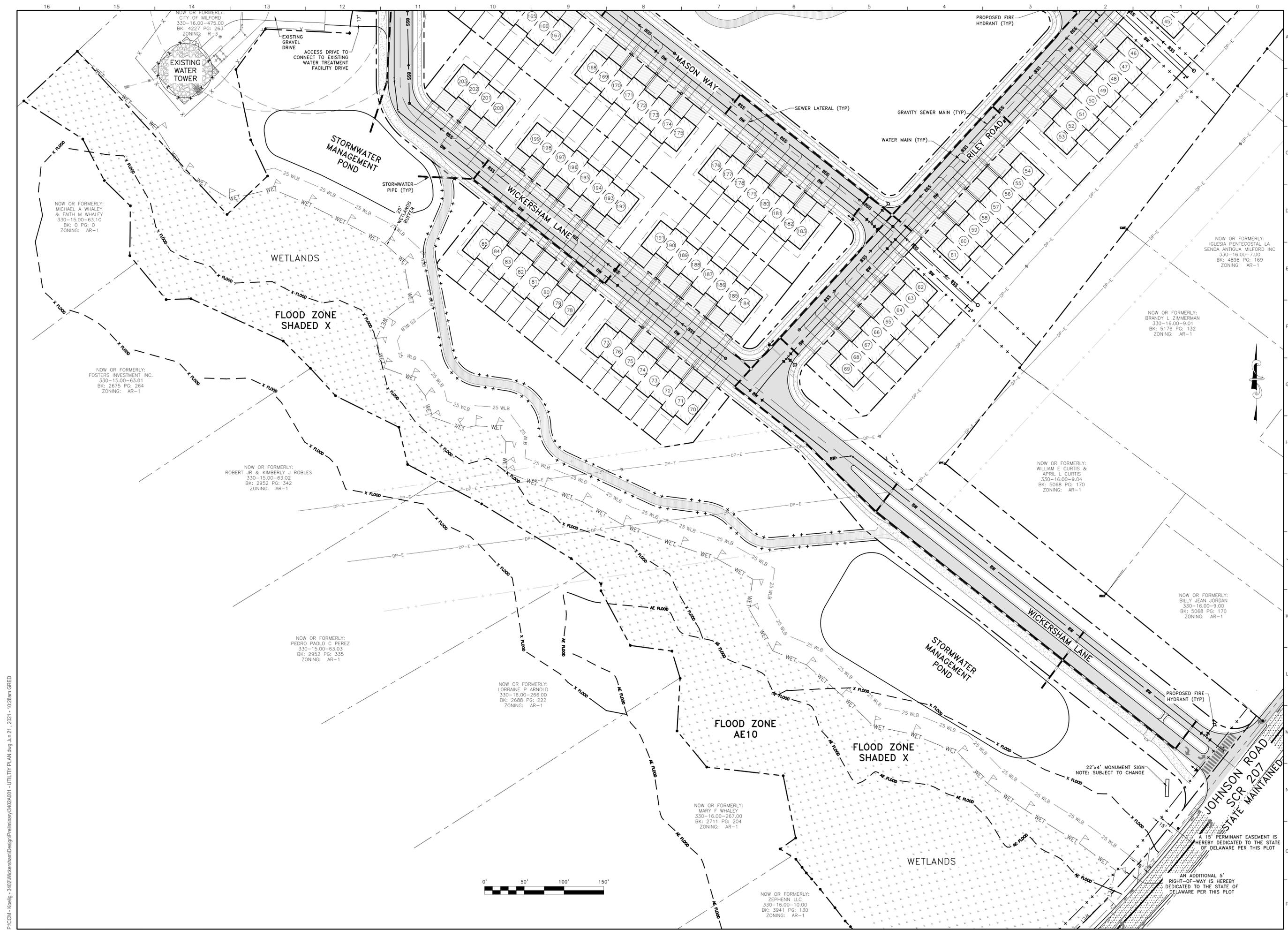
NOW OR FORMERLY:
BRANDY L. ZIMMERMAN
330-16.00-9.01
BK: 5176 PG: 132
ZONING: AR-1

NOW OR FORMERLY:
IOLESIA PENTECOSTAL LA
SENDA ANTIGUA MILFORD INC
330-16.00-7.00
BK: 4898 PG: 169
ZONING: AR-1

NOW OR FORMERLY:
JANIE E. JONES
330-16.00-6.01
BK: 3565 PG: 91
ZONING: AR-1

NOW OR FORMERLY:
MICHAEL ANTHONY WHALEY &
MICHAEL ALEXANDER WHALEY
330-16.00-6.00
BK: 4264 PG: 29
ZONING: AR-1

NOW OR FORMERLY:
ROBIN LYNN CALLAWAN &
JENNIFER FISHER
BEVERLY JOY STILLWELL
& JESSICA LEHNE
330-16.00-1.02
BK: 3033 PG: 128
ZONING: AR-1



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 ARCHITECTS ENGINEERS SURVEYORS
 150 S. MARKET STREET
 MILFORD, DELAWARE 19968
 (302) 424-1441
 (410) 770-4714

PRELIMINARY UTILITY PLAN

**WICKERSHAM
 CITY OF MILFORD
 CEDAR CREEK HUNDRED, SUSSEX COUNTY, DELAWARE**

Revisions:
 2021-02-05: KCI
 2021-05-03: KCI
 2021-06-18: KCI

Date: **NOVEMBER 2020**
 Scale: **1"=50'**
 Dwn.By: **YGW**
 Proj.No.: **3402A001**
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PL-10

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DEPARTMENT OF TRANSPORTATION
COMMENTS FOR
D.A.C. MEETING
OF January 2021

20-060 Wickersham
Tax Map # 3-30-16.00-005.00 & 269 through 475
SCR 207 (Johnson Road)
Sussex County

CCM-KOELIG

1. Please refer to the “*Development Coordination Manual*” manual for the design of the subdivision streets and/or entrance. The website for the manual is the following;

<http://www.deldot.gov/Business/subdivisions/index.shtml?dc=changes>
2. For all projects, any sub-station and/or wastewater facilities will be required to have access from the internal subdivision street with no direct access to the State maintained highway.
3. For all projects, a 20-foot wide buffer will be required from the edge of the stormwater management pond to the ultimate right-of-way of the County road. The ultimate right-of-way is based on the functional classification of the road.
4. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.2.5.1.2: Frontage Easements, a 15-foot wide permanent easement will need to be established across the property frontage. The location of the easement shall be outside the limits of the ultimate right-of-way for this road. The following note is required, “**A 15-foot wide permanent easement is hereby established for the State of Delaware, as per this plat.**”
5. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.2.5: Dedication of Right-Of-Way and Easements, Figure 3.2.5-a Minimum Standards for Total Roadway Right-Of-Way, the project shall be subject to dedicate right-of-way in accordance to the minimum standards.
6. Referring to the “*Development Coordination Manuals*”, Chapter 3 – Record Plan Design, Section 3.2.4.1: Subdivision Street Right-Of-Way Monuments, right-of-way monuments are recommended to be furnished and placed along the private subdivision street.
7. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.2.4.2; Frontage Road Right-of-Way Monumentation, concerning the right-of-way markers being placed to provide a permanent reference for re-establishing the right-of-way and property corners along frontage roads. Due to the right-of-way dedication,

show and note the property corners markers that will need to be installed.

8. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.5.5: Transit Facilities, transit facilities requirements shall be followed as required by DTC or DelDOT.
9. Referring to the “*Development Coordination Manual*”, under Chapter 3; Record Plan Design, Section 3.2.5.1.1 – Easements, if this development is proposing a neighborhood sign/structure, then a permanent easement shall be established at the entrance. The easement shall be located outside of any existing and/or proposed right-of-way. It will also need to be verified that the sign/structure does not pose a sight distance and/or safety hazard.
10. Metes and bounds and total areas need to be shown for any drainage easements. A minimum 20-foot wide drainage easement must be provided for storm drainage systems, open or closed, that fall outside the existing right-of-way or the drainage/utility easement. These easements shall be shown and noted on record plan.
11. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.5: Connectivity, connectivity requirements shall be followed for all development projects having access to state roads or proposing DelDOT maintained public road for subdivisions. Private or municipal streets should follow the local land use agency’s requirements for connectivity.
12. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.4.2.1: Record Plan Content, the traffic generation diagram is required. See Figure 3-4-2-a: Traffic Generation Diagram for what is required.
13. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.4.2: Record Plan Submittal Requirements, adjacent existing features are required to be shown in accordance with Figure 3.4.2-b.
14. It will need to be noted on the Record Plan the type of off-site improvements and when the off-site improvements are warranted for this project.
15. Referring to the “*Development Coordination Manual*”, Chapter 2 – Traffic Analysis and Improvements, it will need to be determined if a Traffic Impact Study (T.I.S.), Area-Wide Study Fee or a Traffic Operational Analysis (T.O.A.) will be required. A TIS Review is currently under way by DelDOT as of 12-31-2020
16. As per the Delaware State Strategies for Policy and Spending Map, this project is located within Investment Level I or II. Referring to the Departments Shared-Use Path/Sidewalk Policy a project an all Level I and Level II areas are required to install a path/sidewalk along the property frontage. If a physical impossibility exists, then a fee in lieu of construction shall be paid.

Projects in all Level area that generate 2,000-trips or greater are required to install a path/sidewalk along the property frontage.

17. Referring to the “*Development Coordination Manual*” under Chapter 5; Design Elements, Section 5.2.5 – Subdivision and Commercial Entrance Design Guidelines – Intersection Corner Radii, a separate turning template plan shall be provided to verify vehicles can safely enter/exit the entrance. The entrance shall be designed for the largest vehicle using the entrance.
18. Please check to determine if any utilities will need to be relocated as part of this project.
19. Standard General Notes have been updated and posted to the DelDOT Website. Please begin using the new versions. The notes can be found at the following website under the *Guidance* tab;
<http://www.deldot.gov/Business/subdivisions/index.shtml>
20. All PLUS/DAC comments shall be addressed prior to submitting the plans for review.
21. Referring to the “*Development Coordination Manual*”, Chapter 6 – Construction Administration, Section 6.4.3: Commercial Entrances – Inspection and Acceptance, Figure 6.4.3-a: Construction Inspection Responsibilities, determine if the project is a Level 1 or Level 2 project and if an inspection agreement will be required.
22. The Auxiliary Lane Spreadsheet has been posted to the DelDOT website. Use this spreadsheet to determine if auxiliary lanes are warranted. The Auxiliary Lane Spreadsheet can be found at the following website under the *Forms* tab;
<http://www.deldot.gov/Business/subdivisions/index.shtml>
23. Referring to the “*Development Coordination Manual*” under Chapter 5; Design Elements, Section 5.4 – Sight Distance, a sight distance triangle is required. A spreadsheet has been developed to assist with this task and can be found on the following website under the *Forms* tab;
<http://www.deldot.gov/Business/subdivisions/index.shtml>
24. Please refer to the “*Development Coordination Manual*” Chapter 3; Record Plan Design, Section 3.4.1 Commercial or Major Residential Subdivisions – Record Plan Application Process, concerning if a pre-submittal meeting is required.
25. Effective August 1, 2015, all new and resubmittals shall be uploaded via the PDCA with any fees paid online via credit card or electronic check (ACH). The design firm making the submittal must create the project in the PDCA and upload all the required items to allow DelDOT to start the review process. Our website offers more detailed information,

including links to guidance about creating PDCA submittals. This information can be found at the following website under the PDCA section;

<http://www.deldot.gov/Business/subdivisions/index.shtml>

26. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.4.2: Record Plan Submittal Requirements, an Initial Stage review fee shall be assessed to this project.
27. Referring to the “*Development Coordination Manual*”, Chapter 3 – Record Plan Design, Section 3.4: Commercial or Major Residential Subdivisions, a record plan shall be prepared prior to issuing “Letter of No Objection”. The Record plan submittal shall include the items listed on the Critical Items for Acceptance: Record Plan document that can be found at the following website under the *Guidance* tab;

<https://www.deldot.gov/Business/subdivisions/index.shtml>

28. Referring to the “*Development Coordination Manual*”, Chapter 4 – Construction Plans, Section 4.3: Subdivision Construction Plan Submittal Requirements, the Construction Stage review fee shall be assessed to this project.
29. Referring to the “*Development Coordination Manual*”, Chapter 4 – Construction Plans, a subdivision/entrance plan shall be prepared prior to issuing subdivision/entrance approval. The Entrance/Construction/Subdivision plan submittal shall include the items listed on the Critical Items for Acceptance: Entrance/Construction/Subdivision Set Plans document that can be found at the following website under the *Guidance* tab;

<https://www.deldot.gov/Business/subdivisions/index.shtml>

City of Milford, Delaware
Development Advisory Committee

Comment Sheet



DATE OF REVIEW: January 8, 2021

REVIEWING AGENCY: Delaware State Fire Marshal's Office, Sussex Office

INDIVIDUAL REVIEWERS: Duane T. Fox, CFPS, CFPE, CFI, Asst. Chief Technical Services
Dennett E. Pridgeon, CFPS, CFPE, CFI, Sr. Fire Protection Specialist
Jefferson L. Cerri, CFI, Sr. Fire Protection Specialist
Desiree B. McCall, CFI, Sr. Fire Protection Specialist

AGENCY PHONE NUMBERS: 302-856-5298, Fax: 302-856-5800

RE: WICKERSHAM (20-060)

The reasons and conditions applied to this project and their sources are itemized below:

At the time of formal submittal, the applicant shall provide; completed application, fee, and three sets of plans depicting the following in accordance with the Delaware State Fire Prevention Regulation (DSFPR):

- a. **Fire Protection Water Requirements:**
 - Water distribution system capable of delivering at least 1000 gpm for 1-hour duration, at 20-psi residual pressure is required. Fire hydrants with 800 feet spacing on centers. (Townhouses)
 - Where a water distribution system is proposed for the site, the infrastructure for fire protection water shall be provided, including the size of water mains for fire hydrants and sprinkler systems.
- b. **Fire Protection Features:**
 - For townhouse buildings, provide a section / detail and the UL design number of the 2-hour fire rated separation wall on the Site plan.
- c. **Accessibility**
 - All premises, which the fire department may be called upon to protect in case of fire, and which are not readily accessible from public roads, shall be provided with suitable gates and access roads, and fire lanes so that all buildings on the premises are accessible to fire apparatus. This means that the access road to the subdivision from Johnson Road must be constructed so fire department apparatus may negotiate it.

- Fire department access shall be provided in such a manner so that fire apparatus will be able to locate within 100 ft. of the front door.
- Any dead end road more than 300 feet in length shall be provided with a turn-around or cul-de-sac arranged such that fire apparatus will be able to turn around by making not more than one backing maneuver. The minimum paved radius of the cul-de-sac shall be 38 feet. The dimensions of the cul-de-sac or turn-around shall be shown on the final plans. Also, please be advised that parking is prohibited in the cul-de-sac or turn around.
- The use of speed bumps or other methods of traffic speed reduction must be in accordance with Department of Transportation requirements.
- The local Fire Chief, prior to any submission to our Agency, shall approve in writing the use of gates that limit fire department access into and out of the development or property.

d. **Gas Piping and System Information:**

- Provide type of fuel proposed, and show locations of bulk containers on plan.

e. **Required Notes:**

- Provide a note on the final plans submitted for review to read “All fire lanes, fire hydrants, and fire department connections shall be marked in accordance with the Delaware State Fire Prevention Regulations”
- Proposed Use
- Alpha or Numerical Labels for each building/unit for sites with multiple buildings/units
- Square footage of each structure (Total of all Floors)
- National Fire Protection Association (NFPA) Construction Type
- Maximum Height of Buildings (including number of stories)
- Townhouse 2-hr separation wall details shall be shown on site plans
- Note indicating if building is to be sprinklered
- Name of Water Provider
- Letter from Water Provider approving the system layout
- Provide Road Names, even for County Roads

Preliminary meetings with fire protection specialists are encouraged prior to formal submittal. Please call for appointment. Applications and brochures can be downloaded from our website:

www.statefiremarshal.delaware.gov, technical services link, plan review, applications or brochures.

THIS DOCUMENT IS INFORMATIONAL ONLY, AND DOES NOT CONSTITUTE ANY TYPE OF APPROVAL FROM THE DELAWARE STATE FIRE MARSHAL'S OFFICE



ISO 9001:2015 CERTIFIED

ENGINEERS • PLANNERS • SCIENTISTS • CONSTRUCTION MANAGERS

1352 Marrows Road, Suite 100 • Newark, DE 19711 • Phone 302-731-9176 • Fax 302-731-7807

July 6, 2021

City of Milford
201 South Walnut Street
Milford, Delaware 19963

Attention: Rob Pierce
Subject: Wickersham – Preliminary Plans
KCI Job No. 131803632 – Task 27

Dear Mr. Pierce,

As requested, KCI Technologies performed a review of the Preliminary Plans for Wickersham. This review was performed on the basis of the City of Milford's Standard Specifications, Codes and general engineering best practices. The plan was submitted by DBF and is dated November 2020, last revised June 18, 2021.

We find the plans generally acceptable, subject to the comments below. This letter serves as a recommendation for Preliminary Plan approval, contingent upon the approval of the waivers discussed in comments 2b and 9. If the waivers are not granted, the plans shall be resubmitted as preliminary.

1. Address the following to the Cover Sheet:
 - a. Add all City of Milford General Notes to the plan. **Addressed with Comment – Revise General Note 2 to be “A topographic survey was performed by _____ of _____, Delaware on _____. Elevations are based on control monument _____, with an elevation of _____ NAVD88.**
 - b. Complete City of Milford General Note 3 and locate the project benchmark on the plan. **Comment Remains.**
 - c. Address the following in regards to the Data Column:
 - i. The water and sewer providers are listed but the gas and electric providers are missing from the site data. Revise the plan accordingly to list the electric and gas providers. **Addressed with Comment – Once it has been determined if Chesapeake can serve the subdivision, revise the plan accordingly to list the gas provider.**

Employee-Owned Since 1988

2. Address the following to the Record Plan:
 - a. A more extensive landscape buffer/sound barrier (i.e. berm) should be provided along Route 1. In addition, please review Chapter 3, Section 3.6 “Noise Mitigation” of DelDOT’s Development Coordination Manual and coordinate with DelDOT if any noise mitigation improvements or studies will be required by DelDOT. **Addressed with Comment – Per response letter from DBF, a Noise Analysis will be prepared to comply with DelDOT’s Development Coordination Manual. Additional comments will be made when final plans are submitted.**
 - b. Currently, Wicklow Lane is listed in the 60’ R.O.W. typical street section detail but this road is not shown on the plan. In addition, provide 5’ sidewalk on the north side of the boulevard of Wickersham Lane; sidewalk is required on both sides of all roads. **Addressed with Comment – Wicklow Lane has been removed from the street section detail. A waiver will be requested for the requirement of sidewalk on both sides of Wickersham Lane per response letter from DBF.**
 - c. It appears that the lot widths for lots 28, 84, 159, and 203 are incorrectly labeled on the plan. This may be because the curve lines start on the front property lines. If this is the case then add some type of symbol to show where the curve lines start/stop (a simple bold dot would be sufficient). Verify the lot widths and revise the record plan accordingly so that all lot widths are correctly dimensioned. **Comment Remains – Add the concrete/iron pins to the plan.**
 - d. There are storm drain pipes within the subdivision that are not within the City’s Right-of-Way. Revise the plan accordingly so that these storm drain pipes have at least a 20’ wide easement. **Comment Noted – Easements will be shown when construction plans are submitted.**
3. A tee turnaround shall be provided at the end of Riley Road. **Addressed.**
4. CAD files will need to be submitted to the City Electric Division when Final Construction Plans are submitted so that the electric design can be updated. **Comment Noted.**
5. Provide the proposed location of the subdivision sign and verify that it meets the sign requirements as listed in the City’s Zoning Code. A signage plan can be submitted as a part of the next submission for consideration to avoid any future variances/meetings that may be required. **Comment Remains – The sign is shown on the Utility Plan but not the Site Plan. Revise the Site Plan to include the location of the sign.**
6. Provide preliminary entrance plans for Johnson Road. **Comment Remains.**
7. Show the landscape berm that will be provided along Route 1 on sheets PL-05 and PL-06. **Addressed with Comment – See comment #2a of this letter.**

8. Add all proposed site improvements to the plan. This includes but is not limited to sidewalks, curb ramps, crosswalks, stop signs/bars. **Comment Remains -- Similar to comment #5 of this letter, add the stop signs/bars to the Site Plan; they are currently located on the Utility Plan.**
9. Verify if garages will be provided for the proposed townhouse units. If a grass strip will not be provided in between driveways, look into placing the water meters closer to the dwelling units that is in the grass since water meters cannot be located in traffic bearing locations. In addition, it appears that the street tree separation requirement of 150' cannot be met due to the proposed driveway layout. Any waiver requests from Chapter 200 shall be made in writing as a part of the Preliminary Major Subdivision Application. Any requirement not specifically waived by City Council must be complied with, even if it conflicts with what is shown on the Preliminary Plans. **Addressed with Comment – If the street tree waiver is granted, add a note on the plan which states the waiver request and the date the waiver was approved.**
10. Gang meters shall not be used at the ends of each row of townhomes and the individual services and water meters shall be provided in the grass strips in front of the homes for each lot (The water services shall not cross other private property). Reminder that the water and sanitary sewer services shall maintain a 10' horizontal separation. **Addressed with Comment – Revise the cleanout locations so that they are located in the sidewalk instead of the driveways.**
11. Label the easements/right-of-way dedications along Johnson Road on sheet PL-07. **Addressed with Comment – Revise the word “plot” to be “plat” in the labels along Johnson Road.**
12. The utility alignments in some locations can be revised to provide better horizontal separation between utilities. Revise the plan so that the sanitary sewer and water mains have at least 5' of horizontal separation from each other and catch basins (while still maintaining 10' of horizontal separation between the water and sanitary sewer mains). **Comment Remains – There are multiple locations (west of lot 160 and east of lot 86) where the water main is on top of storm drain pipes. Revise the plan accordingly to provide adequate horizontal separation between utilities since there is plenty of room to do so.**
13. Revise the location of the fire hydrant northwest of lot 83 to be at least 10' away from the catch basin. **Comment Remains – This fire hydrant was removed entirely. Add an additional fire hydrant along Wickersham Lane to provide adequate fire protection to all homes.**

If you have any questions or comments regarding this letter, please do not hesitate to contact us any time.

Sincerely,



Eric T. Gibson,
Engineer in Training



Jason McClafferty, P.E.
Project Manager

§ 200-8. - General requirements and design standards.

The following shall be deemed to be minimum requirements and may be varied or waived by the Commission only under circumstances set forth in § 200-6:

A. Streets.

- (1) The layout, character, extent, width, grade and location of proposed streets shall be established with due regard to:
 - (a) Public convenience and safety.
 - (b) Proposed uses of the land to be served by said streets.
 - (c) Proper relation and connection with and continuation and projection of streets in the adjacent areas, whether these streets are existing or proposed in another subdivision in a neighborhood plan, in the development plan or in the Official Map, as approved or adopted by the Commission.
 - (d) Topography and other land features.
- (2) The layout of proposed streets shall furthermore be arranged in a manner acceptable to the Commission and City Council.
- (3) Minor streets shall be laid out so as to discourage their use by through traffic.
- (4) Where a subdivision abuts or contains an existing or proposed arterial street, limited-access highway or railroad, the City Council may require marginal access or service streets, reverse frontage with screen planting contained in a nonaccess reservation along the rear property line and deep lots with rear service alleys or other treatment, such as parks, which may be necessary for the protection of residential properties and for separation of through and local traffic, with due regard for the requirements of future approach grades and grade separations.
- (5) Where a tract of land is subdivided into lots substantially larger than the minimum size required in the zoning district in which a subdivision is located, the Commission may require that streets and lots be laid out so as to permit future resubdivision in accordance with the requirements of this chapter.
- (6) Reserve strips controlling access to streets shall be prohibited except where the control and disposal of land comprising such strips has been placed in the governing body under conditions approved by the City Council such as provided in Subsection A(4) above.
- (7) Certain proposed streets may be required to be extended to the boundary line of the subdivision to provide access to tracts which may be subdivided in the future. Wherever necessary, when a street is carried to the boundary line of the subdivision, the City Council may require a temporary turnaround improved to the satisfaction of the City Engineer and of the size specified in Subsection A(16) below at the stub end.
- (8) The creation of dead-end or loop streets and superblocks will be encouraged wherever the City Council finds that such layout will not interfere with traffic convenience and safety. The City Council shall determine the number of connections of streets in the proposed subdivision with existing streets. At least two such connections shall be provided, except where a proposed subdivision only contains one dead-end street.
- (9) Street jogs shall be prohibited. Street intersections, where center lines do not meet, shall have center-line offsets of 150 feet or more.
- (10) A tangent at least 100 feet long shall be introduced between reverse curves on arterial and collector streets and may be required on all other streets.
- (11) Street right-of-way lines deflecting from each other at any point shall be connected with a curve, the radius of which for the inner right-of-way lines shall not be less than 750 feet on arterial streets,

300 feet on collector streets and 100 feet on minor streets. The outer right-of-way line shall be parallel to said inner right-of-way line.

- (12) Streets shall be laid out so as to intersect as nearly as possible at right angles. The inner right-of-way line of a street intersecting another street at an angle of less than 90° shall be tangent to and follow a curve with a minimum radius of 150 feet centered on the nearest right-of-way line of the intersecting street. The outer right-of-way line shall be parallel to said inner right-of-way line.
- (13) Street right-of-way lines at intersections shall be connected with a curve, the radius of which shall be 25 feet.
- (14) Right-of-way widths.
 - (a) Street right-of-way widths shall be as shown on the Official Map or development plan, and, if not shown thereon, said widths for the various street types between face of curb or edge of road shall not be less than as follows:

Street Type (feet)	Right-of-Way Roadway (feet)	
	Arterial	80 to 110
Collector	60	28
Minor, for townhouses and apartments	60	30
Minor, for other residences	50	25
Dead-end	50	22
Marginal access	30	16
*Alley	20	12

Note:

* If utilities are present in an alley, the City reserves the right to modify the minimum right-of-way and roadway widths.

- (b) Subdivisions utilizing open swale drainage shall have a ten-foot drainage easement along the front of each property to accommodate the back slope of the drainage swales.
- (15) Half streets shall be prohibited except where essential to the reasonable development of a subdivision in conformity with the requirements of this chapter and where the Commission finds that it shall be practicable to require the dedication of the other half when the abutting property is subdivided. Wherever an approved half street shall be adjacent to a subdivision, the other half of the street shall be platted within said subdivision.

(16) Dead-end streets, designed to be so permanently, shall not be longer than 400 feet and shall be provided at the closed end with a turnaround having an outside roadway diameter of 76 feet and a street right-of-way diameter of 100 feet.

(17) Street names.

(a) Street names shall be selected so as not to duplicate or be confused with the names of existing streets. Street names shall be subject to the approval of the Commission. It is recommended that all new streets shall be named in the following manner:

General direction	Long	Short (under 1,000 feet)
North and south	Streets	Places
East and west	Avenues	Courts
Diagonal	Roads	Ways
Curving	Drives	Lanes or Circles

(b) Arterial streets shall be named "boulevards."

(18) Street grades shall not exceed 5%.

(19) Street grades shall be not less than 0.5% wherever feasible.

(20) Changes in street grades shall be connected by vertical curves of suitable length.

(21) The width of streets adjacent to areas designed, proposed or zoned for nonresidential use shall be increased by such amount as may be deemed necessary by the Commission to assure the free flow of through traffic without interference by parked or parking cars and to provide adequate and safe parking space.

(22) All required roads shall be constructed in accordance with the standard specifications as issued by the City Engineer.

B. Sidewalks and curbs.

(1) Sidewalks shall be required in all subdivisions on both sides of the street. Sidewalks shall have the following widths:

(a) In residential subdivisions: four feet unless otherwise specified.

(b) In commercial and industrial subdivisions: from the curb to property lines unless otherwise specified.

(2) Curbs or drainage swales conveying stormwater shall be required in all subdivisions.

(3) All required sidewalks shall be constructed in accordance with standard specifications as issued by the City Engineer.

C. Easements. Where a subdivision is traversed by a watercourse, drainageway, channel, pipe or stream, there shall be provided a stormwater easement or drainage right-of-way of such width as will be

adequate for the purpose, in accordance with requirements specified by the City Engineer. Parallel streets or parkways may be required in relation thereto.

D. Blocks.

- (1) The lengths, widths and shapes of blocks shall be determined with due regard to:
 - (a) The provision of building sites suitable to the needs of the type of use contemplated.
 - (b) Zoning requirements as to lot sizes and dimensions.
 - (c) The control, safety and convenience of pedestrian and vehicular traffic.
 - (d) The characteristics of topography.
- (2) Block length shall not exceed 1,200 feet.
- (3) Block widths shall be not less than 275 feet nor more than 450 feet and shall be planned to provide two rows of lots.
- (4) Pedestrian walkways other than in streets may be required where deemed essential to provide for circulation or access to schools, playgrounds, shopping centers, transportation and other community facilities. Said walkways shall be not less than four feet wide.
- (5) Alleys shall be provided if required by the City Engineer.

E. Lots.

- (1) Lot width, depth, shape and orientation and the building setback lines shall be appropriate for the location of the subdivision, for the type of development and for the use contemplated.
- (2) Lot sizes shall conform to the requirements of Chapter 230, Zoning.
- (3) Depth and width of properties reserved or laid out for commercial and industrial purposes shall be adequate to comply with the off-street parking and loading requirements contained in Chapter 230, Zoning.
- (4) Corner lots shall have sufficient width to provide an adequate building site within all the yard requirements. Corner lots shall have two front yard setbacks fronting each street, one side yard setback, and one rear yard setback.
- (5) All lots in a subdivision shall have frontage on a public street.
- (6) Double-frontage lots shall be avoided. Reverse-frontage lots shall be provided where necessary for protection of residential properties from through traffic and adverse nonresidential uses, for separation of through and local traffic and to overcome difficulties of topography or other specific conditions. Screen planting and a fence or wall shall be provided along the rear property line within an easement 10 feet or more in width, across which there shall be no right of access.
- (7) Side lot lines shall be at right angles or radial to street lines.
- (8) No lots shall be platted on land subject to flooding for residential or any other use where danger to life or property or an aggravation of flood hazard may result. Such land should be set aside for uses which would not be endangered by periodic or occasional inundations.
- (9) No lots shall be platted within 25 feet of land under the jurisdiction of the U.S. Army Corps of Engineers.

F. Parks, playgrounds, open spaces, school sites and natural features.

- (1) Parks and playgrounds. Where a proposed park or playground is located in whole or in part in a subdivision, the Commission may require the dedication or reservation of such area within the subdivision, in those cases in which the Commission deems such requirements to be reasonable.
- (2) Open spaces. Where deemed essential by the Commission and City Planner, upon consideration of the particular type of development proposed in the subdivision, and especially in large-scale developments, the Commission or City Planner may require the dedication or reservation of sites

of a character, extent and location suitable to the needs created by such development for playgrounds or parks. The Commission shall not require that more than 10% of the gross area of the open space of the subdivision to be so dedicated or reserved unless otherwise specified by the Zoning Code. ² In case of a conflict, the requirement of the Zoning Code prevails. The Commission shall give due credit for the provision of open spaces reserved for the common use of all property owners within the proposed subdivision by covenants in the deeds. Generally, the minimum area of contiguous open space acceptable for dedication for public use shall be at least three acres and preferably five acres. Open spaces with a lesser area may be approved by the Commission whenever it deems that the difference between the area offered and three acres may be made up in connection with the future subdivision of adjacent land or added to an existing recreation area.

- (3) School sites or sites for other public uses. The Commission may also require a subdivider to set aside such area as it may deem to be required for a school or other public use. Upon failure of the proper authorities to purchase such site within one year after the date of the approval of the plat, the subdivider, upon application to the Commission and approval of such application, shall be relieved of the responsibility of reserving such land for public purposes.
 - (4) Preservation of natural features. The Commission may require the preservation of all natural features which add value to residential developments and to the community, such as large trees or groves, watercourses and historic spots and similar irreplaceable assets. In no case shall a tree over 12 inches in diameter measured three feet from the base be removed without prior approval by the City Arborist.
- G. General grading. No final slope on the property shall exceed the normal angle of repose of the soil of said slope as determined by the City Engineer, except where said slope consists of a natural rock formation or is supported by a retaining wall or equivalent of a design acceptable to the City Engineer.
- H. Improvements.
- (1) In major subdivisions the following improvements are required:
 - (a) Paved streets.
 - (b) Street signs.
 - (c) Curbs and gutters, or roadside swales. Curbs shall be required as per standard specifications to stabilize intersections, entrances, and parking areas, and where they are necessary for the conveyance of stormwater and protecting road surfaces and driveway surfaces from vehicular traffic.
 - (d) Sidewalks.
 - (e) Streetlighting.
 - (f) Shade trees. Shade trees 150 feet on center each side of the road shall be located so as not to interfere with utilities or sidewalks and shall be of the types recommended by the City Arborist.
 - (g) Topsoil protection. No topsoil shall be removed from the site or used as spoil. Topsoil moved during the course of construction shall be redistributed so as to provide at least six inches of cover to all areas of the subdivision and shall be stabilized by seeding or planting.
 - (h) Monuments. Monuments shall be of the type, size and shape required by the City Engineer.
 - (i) Water mains, culverts, storm sewers and sanitary sewers.
 - [1] All water installations shall be looped; all sewer and storm sewer systems shall be extended at minimum slope, maximum depth, and connected with an approved method and shall be adequate to handle all present and probable future development.
 - [2] All of the above-listed improvements shall be subject to inspection and approval by the City Engineer, who shall be notified by the subdivider at least 24 hours prior to the start

of construction. No underground installation shall be covered until inspected and approved.

- [3] Utility easements shall be required to be granted and recorded by the subdivider to allow extension of utilities to neighboring properties.
- (j) Swales. Conveyance of stormwater is permitted by open drainage systems where appropriate for environmental and engineering integrity and design. Such systems shall be separated from the edge of road to the top of bank by a minimum five-foot shoulder. The depth of such systems shall not exceed two feet below crown of road. The side slope shall be a maximum of 4:1. The bottom of the system shall have a minimum width of two feet. The system slope shall be such that the maximum velocity does not exceed two feet per second. The system has to be designed in such a way as to incorporate driveway and crossroad drainage pipes; such systems shall be restored with topsoil and sod. Temporary check dams shall be placed in intervals not to exceed 300 feet.
 - (k) Headwalls. Storm drainage pipes which are part of an open swale drainage system shall be terminated with a headwall in accordance with standard specifications.
- (2) The developer shall complete all utilities and street improvements not specifically waived by the Commission in accordance with standard specifications as issued by the City Engineer and with any additional requirements specified by the Commission. Construction drawings shall be submitted in a form satisfactory to the City Engineer.
 - (3) When the Commission or the City Engineer, due to planning considerations extraneous to the subdivision, requires a standard of improvements higher than that which is sufficient to serve the subdivision, the amount of the bond to be posted shall be deemed to be satisfactory if it adequately covers the cost of improvements which would be normally required.
 - (4) The developer shall pay the review and inspection fees as set forth in Chapter 230, Zoning, § 230-57, Planning, Zoning and Engineering Fees. The cost for each segment or phase of the development shall be paid prior to commencement of utility construction.

§ 230-11. - R-3 Garden Apartment and Townhouse District.

In an R-3 District no building or premises shall be used and no building shall be erected or altered which is arranged, intended or designed to be used except for one or more of the following uses and complying with the requirements so indicated.

- A. Purpose. The purpose of the R-3 District is to provide for the orderly development of existing and proposed medium- to high-density residential areas where adequate public facilities exist. The district will permit development of garden-type apartments as well as townhouses that will yield high densities in selected areas, multifamily dwellings and a variety of housing types.
- B. Permitted uses. Permitted uses for the R-3 District shall be as follows:
- (1) All uses permitted in an R-2 District and subject to its area regulations, unless otherwise indicated in this section as provided below:
 - (a) Single-family and two-family dwellings shall be subject to the following area regulations:
 - [1] Minimum lot area shall be 7,500 square feet.
 - [2] Maximum building coverage shall be 45%.
 - [3] Minimum lot width shall be 60 feet.
 - [4] Height of buildings shall not exceed three stories or 35 feet.
 - [5] Minimum building setback line shall be 30 feet.
 - [6] Side yards shall be provided as follows: each lot shall have at least two side yards eight feet in width, except semidetached structures, which shall have at least one side yard per lot eight feet in width.
 - [7] Minimum rear yard setback shall be 15 feet. For corner lots the rear yard setback may be reduced 20% in depth to allow for skewing of a residential dwelling on the lot.
 - [8] Decks, subject to the following requirements:
 - [a] The deck cannot be located in the front yard.
 - [b] A minimum distance of 10 feet must be maintained from the deck to the rear property line.
 - (2) Garden or low-rise apartments, subject to site plan review and the following requirements:
 - (a) The number of dwelling units per acre shall not exceed 16.
 - (b) Building coverage shall be a maximum of 20% for any lot developed for garden apartments.
 - (c) The maximum number of dwelling units per building shall be 12.
 - (d) Distance between buildings or groups of buildings shall be as follows: each building or group of buildings shall be at least 25 feet from any other building or group of buildings.
 - (e) Minimum lot width on any public street shall be at least 50 feet.
 - (f) Minimum lot size shall be one acre for garden apartment properties or complexes, with a minimum of 2,500 square feet of lot area for each dwelling unit.
 - (g) A minimum of 400 square feet per unit shall be designated as open space subject to the following recreational use requirements in Subsection B(2)(h) herein.
 - (h) Recreational use requirement. 50% of the required open space shall be set aside for recreational uses. This requirement only applies to subdivisions or developments with 15 or more lots or units.
 - (3) Townhouses or row dwellings, subject to site plan review and the following requirements:

- (a) The number of dwelling units per group shall not exceed eight nor be fewer than three.
- (b) The number of dwelling units per acre shall not exceed 12.
- (c) Maximum building coverage shall be 60%.
- (d) No group of townhouses shall be closer than 60 feet as to facing walls and 30 feet as to end walls from any other group of such dwellings nor closer than 60 feet from any boundary line of a designated townhouse area of which the group is a part.
- (e) There shall be within any contiguous group of townhouses at least three different architectural plans having substantially different designs and building materials. In addition, no more than three continuous townhouses shall have the same front setback, and the variations in front setback shall be at least four feet.
- (f) The minimum width of any side yard abutting a street, driveway or parking area within the townhouse area shall not be less than 30 feet.
- (g) Height of buildings shall not exceed three stories or 35 feet.
- (h) Alleys in the rear of townhouse groups are required for access to units by owners and to facilitate City services, trash collection, meter reading and parking.
- (i) Minimum lot size shall be one acre for townhouse projects or complexes, with a minimum of 2,000 square feet of lot area for each dwelling unit.
- (j) A minimum of 400 square feet per unit shall be designated as open space subject to the recreational use requirements in Subsection B(3)(k) herein.
- (k) Recreational use requirement. 50% of the required open space shall be set aside for recreational uses. This requirement only applies to subdivisions or developments with 15 or more lots or units. ^[2]

C. Conditional uses subject to special regulations. All uses specified as conditional uses in the R-1 and R-2 Districts and subject to its area regulations, and the following uses may be permitted with the approval of a conditional use permit by the Milford City Council in accordance with the provisions of Article IX of this chapter:

- (1) Rooming or boarding houses.
- (2) Business offices for administrative purposes only.
- (3) Professional offices (nonresident).
- (4) Medical clinics.
- (5) Sanatoriums or nursing homes.
- (6) Mobile home parks, subject to conformance with the following requirements and subject to site plan review:
 - (a) The total area to be developed as a mobile home park shall be at least 20 acres.
 - (b) The maximum density shall not exceed eight units per acre.
 - (c) Mobile home parks with more than 25 units shall provide at least 5,000 square feet or 400 square feet per lot of open space. At least 10% of the open space shall be developed as a recreational area.
 - (d) Landscape screening shall be required along all property lines. The screening shall be accomplished with an evergreen hedge, shrubs or trees. The screen shall be located not less than five feet from the property line.
 - (e) Common sidewalks four feet in width shall be required where pedestrian traffic is located. Individual sidewalks 2 1/2 feet wide shall connect each mobile home unit to the common walk.

- (f) Off-street parking shall be provided on the basis of two spaces per lot. All parking areas shall be located not more than 400 feet from the mobile home unit. There shall be no on-street parking.
- (g) Streets shall be required from abutting public streets to individual lots. The streets shall be designed to minimize congestion and traffic hazards and must be built to the street and storm drainage specifications of Chapter 200, Subdivision of Land, of this Code. No more than two streets shall intersect at one point.
- (h) Minimum requirements for mobile home lots.
 - [1] Lot area shall be 5,000 square feet per mobile home.
 - [2] Width shall be 40 feet.
 - [3] Public street setback shall be 50 feet.
 - [4] Mobile home park setback shall be 35 feet.
 - [5] Mobile home street or parking area setback shall be 30 feet.
 - [6] Distance from other mobile homes and buildings shall be 25 feet.
 - [7] One patio shall be required per unit, 10 feet by 40 feet paved.
 - [8] Landscaping shall be one tree per lot.
 - [9] Mobile homes must meet the requirements of the Federal Manufacturer Housing Construction and Safety Standard Act of 1974.
 - [10] The entire lot occupied by a mobile home park shall be maintained in single ownership throughout the entire life of the mobile home park.
- (7) Art or specialty shops/galleries. The following items shall be reviewed for conformance during the site plan review hearing by the Planning Commission:
 - (a) The residence shall remain as the predominant feature of the site.
 - (b) The shop or gallery shall occupy only 40% of the residence.
 - (c) Public parking shall be available, with the determination of said parking requirements being made by the Planning Commission during the site plan review hearing. These determinations and recommendations must be done in conjunction with any state regulations concerning traffic control within the given site area.
 - (d) The Fire Marshal review must be applied for and recommendations made by the agency must be presented two weeks prior to the hearing date. All requests or recommendations shall be adhered to.
- (8) Planned unit residential development.

ARTICLE V - Landscape Screening

§ 230-22. - District requirements.

A. Residential districts.

- (1) In any R-1, R-2, R-3 and R-8 District, a landscape screen and/or fence or wall a minimum of six feet in height shall be planted and/or erected to separate any permitted nonresidential use from any existing residential use on a contiguous lot. Such landscape screen and/or fence or wall may extend into the lot setback, side yard and rear yard.
- (2) In any R-3 or R-8 District, for any lot developed for garden apartments or townhouses, a landscape screen and/or fence or wall a minimum of six feet in height shall be planted or erected to separate any contiguous lot developed as a single-family detached or semidetached residential dwelling on any contiguous lot zoned R-1 or R-2. Such landscape screen and/or fence or wall may extend into the lot setback, side yard and rear yard.

B. Commercial districts. In any C-1, C-2 or C-3 District, a fifteen-foot buffer area shall be provided within which a landscape screen and/or fence or wall a minimum of six feet in height shall be planted or erected to separate any permitted use from any contiguous lot zoned R-1, R-2, R-3 and R-8 or any contiguous lot developed or approved for development for any residential use. Such landscape screen may extend into the lot setback, side yard or rear yard.

C. Institutional, Industrial and Office Building/Complex Districts: H-1, I-1, I-1, OB-1 and OC-1.

- (1) Each use established in these districts shall set aside at least 20 feet in width immediately adjacent to any street upon which the lot has frontage, and extending for the full frontage of the lot, for purposes of providing for proper site distance and buffering from the public road. Within such area, the owner shall establish and maintain a planting of grass and/or horticultural ground cover. Other landscape materials may be incorporated, provided that there is no obstruction to vision, other than a tree trunk, in the area between two feet and seven feet above ground level. No use shall be made of this buffer area other than for a single driveway to provide access to the use for each 100 feet of frontage upon a public road. Such driveway shall not exceed 32 feet in width.
- (2) Parking areas may be located in any hard area but shall not be closer than 15 feet to any street line or property line.

D. Limited Industrial District. At the boundary line between an I-1 District and any R-1, R-2, R-3 or R-8 District or any lot developed or approved for development for residential use, there shall be a 50-foot buffer area which shall include a landscape screen and/or fence or wall a minimum of six feet in height. Such landscape screen may extend into the lot setback, side yard or rear yard.

§ 230-23. - Maintenance.

It shall be the responsibility of the property owner of record or his delegated representative(s) to properly maintain and care for any landscape plan planted or erected.

CITY OF MILFORD
NOTICE OF PUBLIC HEARING

Planning Commission Hearing: Tuesday, August 17, 2021 @ 7:00 PM
City Council Hearing: Monday, August 23, 2021 @ 7:00 PM

NOTICE IS HEREBY GIVEN that the following Ordinance is currently under review by Milford Planning Commission and City Council, with action scheduled to occur on the date(s) and time(s) so indicated:

ORDINANCE 2021-17

Wash It, LLC

1.105 +/- acres of land located along the south side of Milford-Harrington

Highway approximately 230 feet west of the Route 113 intersection

Address: 25 Milford-Harrington Highway

Application Type: Conditional Use

Comprehensive Plan Designation: Commercial

Zoning District: C-3 (Highway Commercial District)

Present Use: Self Storage

Proposed Use: Laundromat & Self Storage

Tax Parcel: MD-16-183.09-01-48.00

WHEREAS, Chapter 230-14(C)(17) states “business, commercial or industrial uses that do not adversely affect neighboring properties” require a conditional use subject to special requirements set forth by City Council; and

WHEREAS, Chapter 230-45 states “in any and all zoning districts, multiple permitted uses or mixed use of a property shall be deemed a conditional use subject to special requirements”; and

WHEREAS, Applicant proposes to redevelop the existing commercial property by constructing an 8,400 square foot laundromat; and

WHEREAS, the City of Milford Planning Commission considered the application during their regular meeting on Tuesday, August 17, 2021, at which time interested parties publicly commented on the application; and

WHEREAS, Milford City Council held a Public Hearing on Monday, August 23, 2021 which allowed for additional public comment after which the Conditional Use was approved through the adoption of this ordinance; and

WHEREAS, the notice as required by Chapter 230, was published in the Milford Beacon on July 28, 2021, and provided to property owners within 200 feet of the subject parcel; and

WHEREAS, this ordinance becomes effective ten days following the date of its adoption by City Council.

NOW, THEREFORE, the City of Milford hereby ordains as follows:

Section 1. Upon adoption of this ordinance, Wash It, LLC is hereby granted a Conditional Use to allow to redevelop the existing commercial property by constructing an 8,400 square foot laundromat on 1.105 +/- acres at 25 Milford-Harrington Highway currently zoned C-3, in accordance with the application, approved plans and any conditions set forth by City Council.

Section 2. Construction shall commence within one year of the date of issuance of the permit, otherwise the conditional use becomes void.

Section 3. Dates.

City Council Introduction: Monday, August 9, 2021

Planning Commission Review & Public Hearing: Tuesday, August 17, 2021

City Council Public Hearing: Monday, August 23, 2021

For additional information, please contact Rob Pierce in the Planning & Economic Development Department either by e-mail at RPierce@milford-de.gov or by calling 302.424.8396.

Advertised: *Milford Beacon 072821*

DATA SHEET FOR WASH IT, LLC

Development Advisory Committee: July 28, 2021

Planning Commission Meeting: August 17, 2021

Application Number / Name	:	21-024 / Wash It, LLC
Applicant	:	Maryland Square, LLC PO Box 16 Salisbury, MD 21803
Owner	:	Same as above
Application Type	:	Conditional Use & Preliminary Site Plan
Present Comprehensive Plan Map Designation	:	Commercial
Present Zoning District	:	C-3 (Highway Commercial District)
Present Use	:	Self Storage
Proposed Use	:	Laundromat & Self Storage
Size and Location	:	1.105 +/- acres of land located along the south side of Milford-Harrington Highway approximately 230 feet west of the Route 113 intersection, addressed as 25 Milford-Harrington Highway.
Tax Map & Parcel	:	MD-16-183.09-01-48.00

ENC: Staff Analysis Report
Exhibit A – Location & Zoning Map
Exhibit B – Preliminary Site Plan



STAFF REPORT
July 26, 2021

Application Number / Name	:	21-024 / Wash It, LLC
Present Comprehensive Plan Designation	:	Commercial
Present Zoning District	:	C-3 (Highway Commercial District)
Present Use	:	Self Storage
Proposed Use	:	Laundromat & Self Storage
Tax Map & Parcel	:	MD-16-183.09-01-48.00
Size and Location	:	1.105 +/- acres of land located along the south side of Milford-Harrington Highway approximately 230 feet west of the Route 113 intersection, addressed as 25 Milford-Harrington Highway.

I. BACKGROUND INFORMATION:

- The applicant proposes to redevelop the existing commercial property by constructing an 8,400 square foot laundromat. The site plan includes keeping the existing 3,900 square foot self-storage building located along the rear of the property.
- Chapter 230-14(C)(17) states “business, commercial or industrial uses that do not adversely affect neighboring properties” are a conditional use subject to special requirements set forth by City Council.
- Chapter 230-45 states “in any and all zoning districts, multiple permitted uses or mixed use of a property shall be deemed a conditional use subject to special requirements.”

II. STAFF ANALYSIS:

Based on the information presented, the City of Milford Code, and the Comprehensive Plan, staff submits the following regarding the request for the Conditional Use Preliminary Site Plan:

- The Preliminary Site Plan meets the minimum standards to Chapter 230 Zoning and Chapter

200 Subdivision of Land.

- The plans have been reviewed for general compliance with the City's Standard Construction Specifications. The applicant acknowledged plan review comments from the City Engineer and agrees to address these during the Final Site Plan submission process.
- Evaluation based on the criteria found under Chapter 230-48 Conditional Uses.

A. The presence of adjoining similar uses.

The property is bound on the south by an existing railroad easement and existing single-family residential south of the railroad. The property is bound on the east by an existing gas station and convenience store. The property is bound to the west by a vacant lot and an existing automotive parts store. The property is bound to the north by Milford-Harrington Highway and a pharmacy across the street.

B. An adjoining district in which the use is permitted.

The proposed laundromat use is allowed as a permitted use in the C-1 zoning district and within the C-2, C-2A and C-3 zoning districts as a conditional use.

C. There is a need for the use in the area proposed as established by the Comprehensive Plan.

The Comprehensive Plan designates this area as Highway Commercial. The proposed use is consistent with the land use plan for the Comprehensive Plan and the zoning code permits the use by conditional use approval from City Council.

D. There is sufficient area to screen the conditional use from adjacent different uses.

The uses to the north, east and west are of similar commercial nature and do not need screening. The railroad to the south provides an existing buffer to the residential properties to the south.

E. The use will not detract from permitted uses in the district.

The proposed use should not detract from other permitted uses in the district. The subject parcel is located along an established minor arterial state maintained road which includes other highway commercial uses.

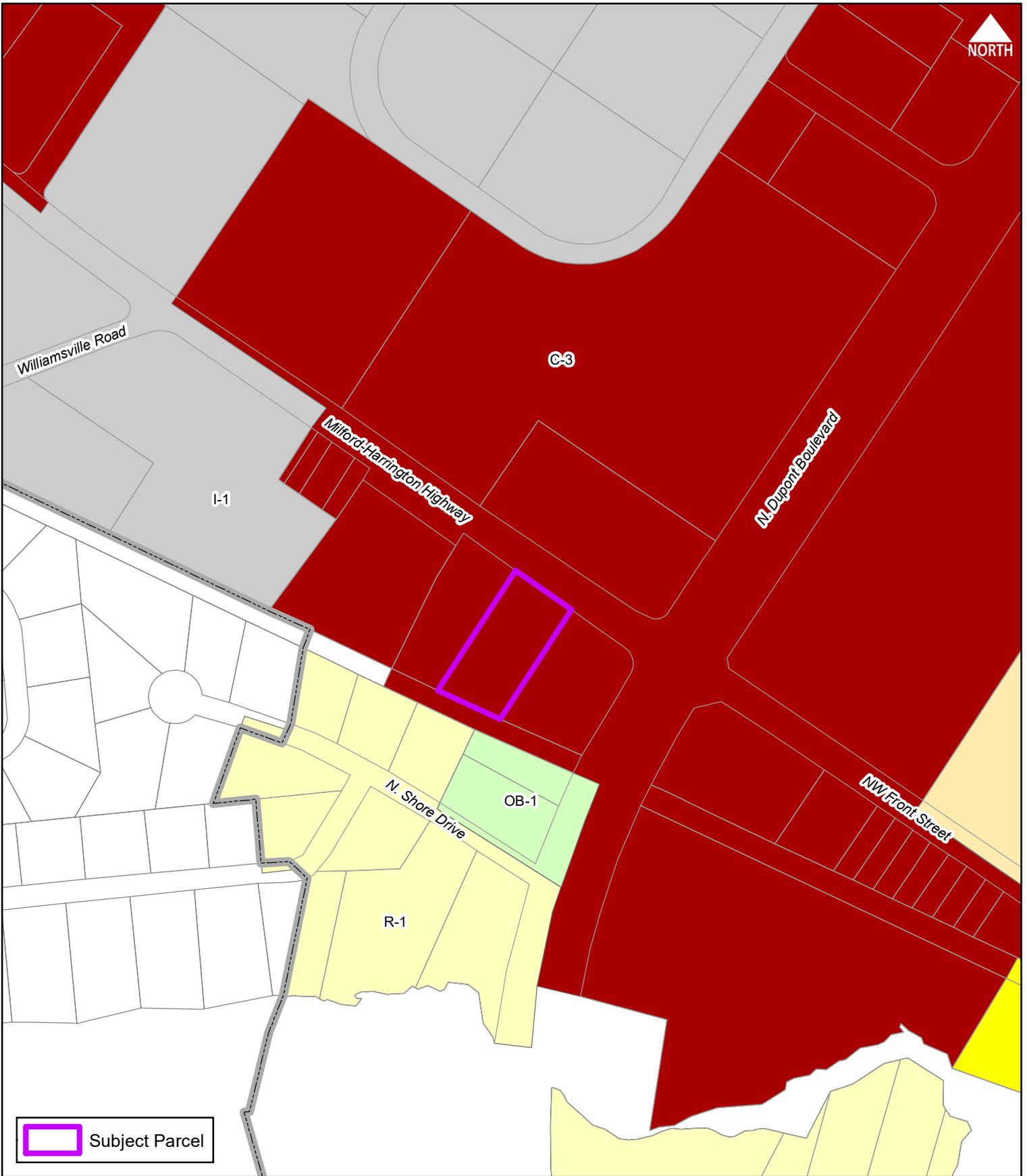
F. Sufficient safeguards, such as traffic control, parking, screening and setbacks, can be implemented to remove potential adverse influences on adjoining uses.

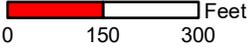
The site is located along an established state maintained minor arterial (Milford-Harrington Highway) and the applicant will be required to obtain DelDOT approval for the proposed entrance prior to final site plan approval. The proposed site plan meets the minimum parking and setback requirements for the proposed use and screening is not needed between the proposed use and the adjacent properties.

- The following comments must be addressed prior to final site plan approval:
 - Final Site Plan approval will require approvals or no objection letters from DeIDOT, State Fire Marshal’s Office and Kent Conservation District;
 - Address Preliminary Site Plan and Conditional Use review comments (a copy of which is provided in the packet);
 - Applicant must obtain final approval of engineering plans from the City Engineer; and,
 - Additional department and agency comments outlined in Section III.

III. AGENCY COMMENTS:

- **Office of State Planning Coordination**
No comments provided.
- **DeIDOT Planning, Development Coordination**
No comments provided.
- **Delaware Health and Social Services – Division of Public Health**
No comments provided.
- **Department of Natural Resources and Environmental Control (DNREC), Division of Water, Surface Water Discharges Section (SWDS)**
No comments provided.
- **Kent Conservation District**
No comments provided.
- **Delaware State Fire Marshal’s Office**
See attached comments.
- **Carlisle Fire Company**
No comments provided.
- **City Engineer**
Contact: Jason McClafferty, P.E. – KCI Technologies
See attached Preliminary Site Plan review comments dated July 12, 2021.
- **City of Milford Public Works Department**
No comments provided.
- **City of Milford Parks and Recreation Department**
No comments provided.
- **City of Milford Police Department**
No comments provided.
- **Milford School District**
No comments provided.



	Scale:  Feet 0 150 300	Title: Preliminary Conditional Use Site Plan Wash It, LLC Location & Zoning Map
	Drawn by: WRP Date: 07/12/21	
Filepath: PreliminarySitePlan_WashIt.mxd		



THIS MAP IS NOT SURVEY ACCURATE OR FOR ENGINEERING USE AND IS SUBJECT TO PERIODIC CHANGES

WASH IT, LLC.

CITY OF MILFORD, KENT COUNTY, DELAWARE

DBF PROJECT #3845A001

PRELIMINARY SITE PLAN

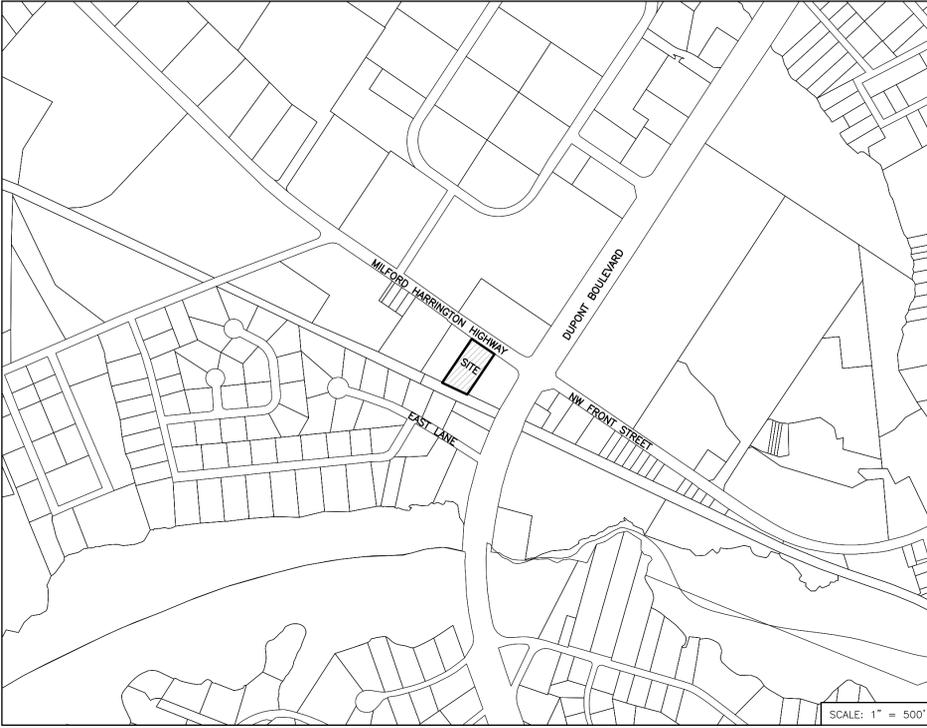
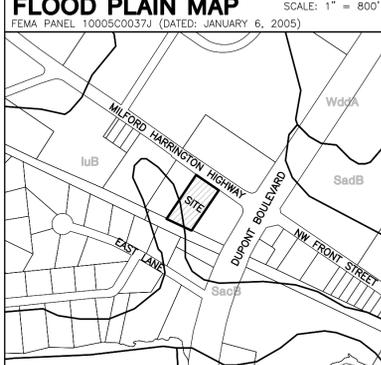
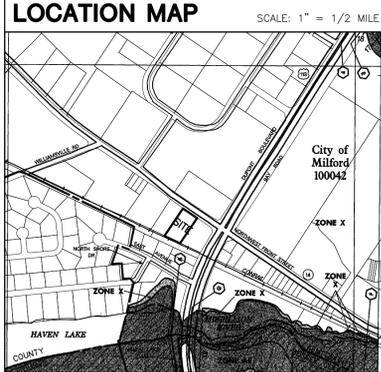
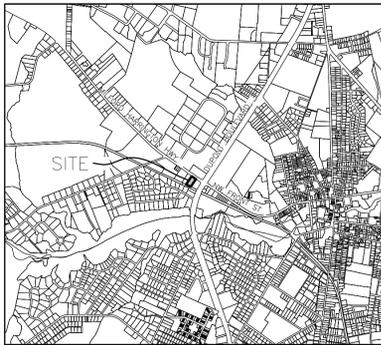
MAY, 2021

DATA COLUMN

TAX MAP ID: 5-16-18309-01-4800
 DEED REFERENCE: DEED BOOK 6446, PAGE 0285
 DATUM:
 VERTICAL: NAVD 88
 HORIZONTAL: NAD 83 (DE STATE PLANE)
 LAND USE
 EXISTING: MINI STORAGE
 PROPOSED: MINI STORAGE & LAUNDROMAT
 ZONING: C-3 (HIGHWAY COMMERCIAL DISTRICT)
 MINIMUM REQUIREMENTS
 FRONT SETBACK: 30 FT.
 SIDE SETBACK: 20 FT. MIN WITH COMBINED MIN AGGREGATE OF 50 FT.
 REAR SETBACK: 50 FT.
 WIDTH: 150 FT.
 LOT AREA: 1 AC.
 MAXIMUM REQUIREMENTS
 BUILDING HEIGHT: 3 STORIES OR 35 FT.
 LOT COVERAGE: 80%
 AREAS
 EXISTING:
 IMPERVIOUS: 1.013 AC. (92%)
 MINI STORAGE FOOTPRINT: 0.087 AC. (3,790 SQ.FT.)
 BUILDING HEIGHT: 14 FT ±
 PAVING: 0.926 AC.
 PERVIOUS: 0.092 AC.
 TOTAL SITE AREA: 1.105 AC.
 PROPOSED SITE:
 IMPERVIOUS AREA: 0.885 AC. (80%)
 MINI STORAGE FOOTPRINT: 0.087 AC. (3,790 SQ.FT.)
 PAVING: 0.567 AC.
 SIDEWALK: 0.035 AC.
 DUMPSTER PAD: 0.003 AC.
 BUILDING: 0.193 AC.
 PERVIOUS: 0.224 AC. (20%)
 BUILDING HEIGHT: 1 STORY OR LESS THAN 35 FT
 PARKING
 LOADING SPACE RATIONALE: 1 SPACE REQUIRED/PROVIDED
 PROPOSED PARKING RATIONALE:
 6,720 SQ.FT. OF SPACE @ 1 SPACE PER 200 SQ.FT.: 34 SPACES
 TOTAL SPACES REQUIRED: 34 SPACES
 TOTAL SPACES PROVIDED: 39 SPACES
 UTILITIES
 SEWER PROVIDER: CITY OF MILFORD
 WATER PROVIDER: CITY OF MILFORD
 GAS PROVIDER: NOT PROVIDED TO SITE
 ESTIMATED NUMBER OF EDU'S:

SIZE (lbs)	QUANTITY	EDU	TOTAL
20	22	.15	3.3
40	16	.30	4.8
60	14	.50	7.0
80	4	.50	2.0
			17.1 TOTAL
			18 (ROUND UP)
			19 (+ 1 EDU) TOTAL

 AVERAGE FLOW: 4,750 GAL/DAY
 PEAK FLOW: 13,935 GAL/DAY
 PROPOSED CONSTRUCTION: WOOD/CONCRETE BLOCK
 FLOODPLAIN - THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 10005C0037J EFF. 1/6/2005.
 THE PROPERTY IS NOT LOCATED IN A SOURCE WATER PROTECTION AREA.



LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	RIGHT-OF-WAY
ADJACENT PROPERTY OWNER	SETBACK LINE
CONTOUR ELEVATION AND LABEL	CONTOUR ELEVATION AND LABEL
SOILS BOUNDARY LINE	DRAINAGE INLET STORM PIPE, LABELS
DRAINAGE INLET, STORM PIPE, LABELS	SANITARY SEWER CLEANOUT
SANITARY SEWER MANHOLE, PIPE, FLOW ARROW, PIPE SIZE	SERVICE LINE
WATER MAIN, W/ VALVES	WATER METER/LATERAL
FIRE HYDRANT ASSEMBLY	FIRE HYDRANT ASSEMBLY
SIGN, STREET LIGHT	SIGN
OVERHEAD ELECTRIC	OVERHEAD ELECTRIC
GAS	GAS
UTILITY POLE	STREET LIGHT
CHAINLINK FENCE	PARKING BLOCK
WOODEN FENCE	LANDSCAPE
SIDEWALK	SIDEWALK
PAVEMENT	PAVEMENT / FULL DEPTH

- CITY OF MILFORD GENERAL NOTES:**
- THE BOUNDARY INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON A SURVEY PERFORMED BY DAVIS, BOWEN, & FRIEDEL INC. ON MARCH 15, 2021.
 - A TOPOGRAPHIC SURVEY WAS PERFORMED BY DAVIS, BOWEN, & FRIEDEL ON MARCH 15, 2021.
 - HORIZONTAL DATUM IS BASED ON DELAWARE STATE GRID, NAD83/91, CONTROL MONUMENTS (TO BE ADDED DURING DESIGN).
 - HYDRIC SOILS ARE NOT INDICATED AS BEING PRESENT ACCORDING TO THE KENT COUNTY SOIL SURVEY.
 - EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY DELMARVA (800-282-8555) A MINIMUM OF THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO ANY EXCAVATION.
 - ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MATERIALS AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE CITY OF MILFORD STANDARD SPECIFICATIONS FOR INSTALLATION OF UTILITY CONSTRUCTION AND SUBDIVISION PAVEMENT DESIGN, AND ALL APPLICABLE AGENCIES HAVING JURISDICTION OVER THE PROPOSED IMPROVEMENTS.
 - USE ONLY SUITABLE AND APPROVED GRANULAR MATERIAL FOR BACKFILLING TRENCHES.
 - THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL RIGHT-OF-WAY LINES AND PROPERTY LINES TO HIS OWN SATISFACTION. ANY DISTURBED AREAS BEYOND THE RIGHT-OF-WAY OR EASEMENT LINES SHALL BE RESTORED IMMEDIATELY TO THEIR ORIGINAL CONDITION.
 - ALL VALVE CLOSURES AND CUT-INS SHALL BE COORDINATED WITH THE CITY. CITY OFFICIALS WILL CARRY OUT ALL NECESSARY VALVE CLOSURES. CONTRACTOR SHALL COORDINATE ISOLATION OF EXISTING WATER MAINS WITH THE CITY AND NOTIFY AFFECTED RESIDENTS AT LEAST 48 HOURS PRIOR TO CUT-IN.
 - PIPELINE DETECTION TAPE SHALL BE COLOR CODED, APPROPRIATELY LABELED, AND INSTALLED 18 INCHES BELOW THE GROUND SURFACE AND DIRECTLY ABOVE ALL PROPOSED NON-METALLIC WATER MAIN, SEWER MAIN, SEWER LATERALS, AND WATER SERVICES.
 - CONDUCTIVE TRACER WIRE SHALL BE INSTALLED WITH ALL NON-METALLIC WATER PIPE AND SERVICES; AND ALONG ALL SEWER LATERALS AND FORCEMAINS. WIRE SHALL BE SECURED TO THE PIPE AND SHALL BE SECURELY BONDED TOGETHER AT ALL WIRE JOINTS WITH APPROVED WATERTIGHT CONNECTORS. TRACER WIRE SHALL BE ACCESSIBLE AT ALL VALVE BOXES, METER PITS, CLEANOUTS, AND AIR RELEASE VALVES.
 - PRIOR TO ISOLATION AND CUT-IN PROCEDURES, CONTRACTOR SHALL EXCAVATE, LOCATE, AND OBSERVE FUNCTION OF ALL EXISTING VALVES TO ASSIST IN THE SYSTEM ISOLATION.
 - SHOP DRAWINGS FOR ANY ITEM(S) WHICH WILL EVENTUALLY BE TAKEN OVER BY THE CITY SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE ORDERING OF AND/OR INSTALLATION OF THE ITEM(S).
 - ALL SANITARY SEWER MAINS AND FORCEMAINS SHALL HAVE A MINIMUM COVER OF 36 INCHES AND ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 42 INCHES MEASURED FROM THE TOP OF PIPE TO PROPOSED GRADE. SEWER LATERALS SHALL HAVE A MINIMUM DIAMETER OF SIX (6) INCHES AND HAVE A MINIMUM COVER OF 36 INCHES.
 - THERE SHALL BE A MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND FORCEMAINS OF 10 FEET, AS MEASURED FROM EDGE OF PIPE TO EDGE OF PIPE. THERE SHALL BE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN WATER MAINS AND SANITARY SEWER MAINS OR FORCEMAINS AT CROSSINGS. ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE AT CROSSINGS.
 - THERE SHALL BE A MINIMUM VERTICAL SEPARATION OF 12 INCHES BETWEEN ANY STORM DRAIN PIPE AND ANY WATER MAIN OR SEWER MAIN. IF 12 INCHES CANNOT BE MAINTAINED, A MINIMUM OF SIX (6) INCHES IS REQUIRED AND PROVISIONS SHALL BE MADE ACCEPTABLE TO THE CITY OF MILFORD FOR PROPERLY ENCASED THE PIPE IN CONCRETE.
 - THE PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 10005C0037J DATED JANUARY 6, 2005.
 - ALL ROADWAYS ARE TO BE SWEPT FREE OF SEDIMENT ON A DAILY BASIS.
 - THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY REPLACE, RELOCATE, RESET OR RECONSTRUCT ALL OBSTRUCTIONS IN THE WORK AREA, INCLUDING, BUT NOT LIMITED TO, MAILBOXES, SIGNS, LANDSCAPING, LIGHTING, PLANTERS, CULVERTS, DRIVEWAYS, PARKING AREAS, CURBS, GUTTERS, FENCES, OR OTHER NATURAL OR MAN-MADE OBSTRUCTIONS. TRAFFIC CONTROL REGULATORY, WARNING AND INFORMATIONAL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES, WITH THEIR RELOCATION KEPT TO A MINIMUM DISTANCE.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT PAVING IS INSTALLED TO THE ELEVATIONS SHOWN AND THAT NO PONDING OF WATER WILL OCCUR AFTER PAVING IS COMPLETE.
 - THE STORM DRAINAGE SYSTEM HAS BEEN DESIGNED USING THE CRITERIA OF THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION DEVELOPMENT COORDINATION MANUAL, LATEST EDITION.
 - ALL FIRE LANES, FIRE HYDRANTS, EXITS, AND STANDPIPES WILL BE MARKED IN ACCORDANCE WITH STATE FIRE PREVENTION REGULATIONS.
 - DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING THE CONSTRUCTION OF STRUCTURES AND UTILITY LINES ON AND OFF SITE MUST BE REMOVED AND PROPERLY DISCARDED. ANY REMEDIAL ACTION REQUIRED IS THE RESPONSIBILITY OF THE OWNER.
 - DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.
 - CONTRACTOR SHALL GRADE, TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS OF CONSTRUCTION, INCLUDING PIPE INSTALLATION OR DITCH CONSTRUCTION. EROSION CONTROL MATTING SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.
 - THE OWNER AND/OR THEIR CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE SERVICES OF A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF DELAWARE FOR THE PERMANENTLY RE-ESTABLISHING OF ANY PROPERTY MARKERS OR MONUMENTS DISTURBED DURING CONSTRUCTION. A SURVEY AND METES AND BOUNDS THAT INCLUDES THE RE-ESTABLISHED MARKERS(S) OR MONUMENT(S) SHALL BE PRESENTED TO THE PROPERTY OWNER FOR COMPARISON WITH THE ORIGINAL PLAT, FOR VERIFICATION.
 - THE OWNER SHALL BE RESPONSIBLE FOR THE SHORT-TERM MAINTENANCE OF THE ANY AND ALL STORMWATER MANAGEMENT FACILITIES AND STORM SEWER SYSTEMS UNTIL SUCH TIME THAT THE LONG-TERM MAINTENANCE RESPONSIBILITIES CAN BE TRANSFERRED TO A LEGALLY-ESTABLISHED HOMEOWNERS ASSOCIATION OR OTHER RESPONSIBLE ENTITY.
 - THE CITY OF MILFORD WILL ASSUME OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF WATER AND SEWER PIPES AND APPURTENANCES, INSTALLED WITHIN CITY RIGHT-OF-WAY AND EASEMENTS DEDICATED TO THE CITY, STORM SEWER PIPES AND CATCH BASINS, INSTALLED FULLY WITHIN CITY RIGHT-OF-WAY; ONCE THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - ALL ITEMS HAVE PASSED CITY INSPECTION;
 - THE CITY HAS RECEIVED AND APPROVED DIGITAL AND HARD COPIES OF THE RECORD DRAWINGS; AND
 - THE RIGHTS-OF-WAY AND/OR EASEMENTS HAVE BEEN DEEDED TO THE CITY AND RECORDED WITH THE RECORDER OF DEEDS.
 - SEWER AND WATER CAPACITY ARE NOT GUARANTEED UNTIL BUILDING PERMITS ARE ISSUED, ALL FEES ARE PAID AND SUITABLE UTILITIES ARE IN PLACE FOR PROPER CONVEYANCE, TREATMENT AND DISPOSAL.
 - PRELIMINARY APPROVAL FROM PLANNING COMMISSION SHALL BE VOID AFTER ONE (1) YEAR, UNLESS AN EXTENSION IS REQUESTED BY THE OWNER AND APPROVED, FOR GOOD CAUSE, BY THE PLANNING COMMISSION PRIOR TO THE DATE OF EXPIRATION.
 - THE APPROVAL OF A CONDITIONAL USE IS VALID FOR ONE YEAR, UNLESS PERMITS ARE OBTAINED OR CONSTRUCTION OR USE IS SUBSTANTIALLY UNDERWAY, ALL PROVISIONS OF THE CONDITIONAL USE ARE AUTOMATICALLY RESCINDED.
 - FINAL APPROVAL FROM THE CITY SHALL BECOME VOID IF THE FINAL RECORD PLAT IS NOT RECORDED WITHIN 90 DAYS OF THE DATE OF PLANNING COMMISSION'S GRANTING OF FINAL APPROVAL. IF CONSTRUCTION OF THE APPROVED IMPROVEMENTS IS NOT SUBSTANTIALLY UNDERTAKEN WITHIN ONE (1) YEAR OF FINAL SITE PLAN APPROVAL, THE SITE PLAN APPROVAL SHALL BE VOID. THE APPLICANT MAY REQUEST A ONE (1) YEAR EXTENSION FROM THE PLANNING COMMISSION FOR GOOD CAUSE.
 - THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL CITY AND/OR AGENCY CONSTRUCTION PERMIT APPLICATIONS HAVE BEEN COMPLETED, SUBMITTED, AND ALL APPLICABLE FEES HAVE BEEN PAID PRIOR TO COMMENCING CONSTRUCTION. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR AN ANTICIPATED CONSTRUCTION START DATE THAT IS NOT MET DUE TO THE APPLICANT OR HIS/HER CONTRACTOR NOT HAVING MET THE CONSTRUCTION PERMITTING REQUIREMENTS.
 - AS A CONDITION OF THE APPROVAL OF THE CONSTRUCTION DRAWINGS, AND PRIOR TO THE START OF CONSTRUCTION, THE APPLICANT MAY BE REQUIRED TO ENTER INTO A FORMAL PUBLIC WORKS AGREEMENT WITH THE CITY AND/OR TO POST A COMPLETION GUARANTEE FOR ANY IMPROVEMENTS WHICH WILL EVENTUALLY BE TAKEN OVER BY THE CITY. THE GUARANTEE SHALL BE IN AN AMOUNT EQUAL TO 150% OF THE COST OF THE IMPROVEMENTS AS ESTIMATED OR APPROVED BY THE CITY ENGINEER. THE GUARANTEE SHALL BE IN THE FORM OF A BOND OR FUNDS DEPOSITED IN AN ESCROW ACCOUNT. THE PUBLIC WORKS AGREEMENT AND THE GUARANTEE SHALL BE REVIEWED AND APPROVED BY THE CITY SOLICITOR. THE COMPLETION GUARANTEE SHALL NOT BE RELEASED UNTIL A MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE IMPROVEMENTS HAS BEEN SUBMITTED.
 - A MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE CONSTRUCTION VALUE FOR ANY CONSTRUCTED IMPROVEMENTS AND A PERFORMANCE BOND IN THE AMOUNT OF 125% OF THE CONSTRUCTION VALUE FOR ANY UNCOMPLETED WORK SHALL BE PROVIDED IN ORDER TO ACHIEVE FINAL COMPLETION OF THE IMPROVEMENTS AND RELEASE OF ANY COMPLETION GUARANTEE. THE MAINTENANCE PERIOD SHALL BE A MINIMUM OF ONE YEAR AND ALL CONSTRUCTION VALUES MUST BE SUBMITTED TO, REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE ISSUANCE OF ANY BONDS.
 - UPON COMPLETION OF THE CONSTRUCTION IMPROVEMENTS AND PRIOR TO THE RELEASE OF ANY DEVELOPER'S COMPLETION GUARANTEE, THE DEVELOPER SHALL PROVIDE THE CITY ENGINEER A DRAFT PAPER SET OF DETAILED RECORD PLANS (PLAN VIEW AND PROFILE SHEETS). RECORD INFORMATION SHALL BE PLACED ON THE APPROPRIATE APPROVED DRAWINGS. ORIGINAL DESIGN ELEVATION AND/OR DISTANCE INFORMATION SHALL BE STRUCK THROUGH WITH A FINE LINE AND THE RECORD INFORMATION SHALL BE INSERTED NEXT TO IT. WHEN THE DRAFT SET OF DRAWINGS HAS BEEN APPROVED BY THE CITY, THREE (3) FINAL PAPER COPIES SHALL BE SUBMITTED, SIGNED AND SEALED BY THE OWNER'S ENGINEER OR SURVEYOR. ADDITIONALLY, A CD SHALL BE PROVIDED WITH DIGITAL RECORD INFORMATION IN AUTOCAD FORMAT (VERSION 2018 OR LATER). THE DIGITAL INFORMATION SHALL BE ON DELAWARE STATE PLANE, NAD 83 HORIZONTAL CONTROL AND NAVD88 VERTICAL CONTROL. RECORD PLAN INFORMATION SHALL INCLUDE SURVEYED AS-BUILT ELEVATIONS AND HORIZONTAL LOCATIONS OF THE FOLLOWING:
 - ALL PROPERTY MONUMENTS/MARKERS;
 - SEWER MANHOLE RIM & INVERT ELEVATIONS, WITH ASSOCIATED PIPE SIZES & MATERIALS NOTED, PUMP STATION RIM, BOTTOM & INVERT ELEVATIONS WITH ASSOCIATED PIPE SIZES & MATERIALS NOTED, FORCEMAIN INVERT ELEVATIONS EVERY 50 FEET, FORCEMAIN AIR RELEASE VALVE RIM & INVERT ELEVATIONS, SEWER CLEANOUT RIM & INVERT ELEVATIONS, AND GREASE TRAP RIM, BOTTOM & INVERT ELEVATIONS;
 - WATER VALVES, FIRE HYDRANTS, METER VAULTS, METER PITS, AND CURB STOPS;
 - STORM SEWER CATCH BASIN AND/OR MANHOLE GRATE, RIM & INVERT ELEVATIONS WITH ASSOCIATED PIPE SIZES & MATERIALS NOTED; AND
 - ANY OTHER ITEM WHICH WILL BE TAKEN OVER BY THE CITY.
 - THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT (302) 422-1110 A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SCHEDULE A PRE-CONSTRUCTION MEETING. THE SITE CONTRACTOR AND THE OWNER, OR HIS/HER REPRESENTATIVE SHALL BE IN ATTENDANCE.
 - THIS SITE DOES NOT CONTAIN A SOURCE WATER PROTECTION AREAS.
 - THERE ARE NO STATE OR FEDERALLY REGULATED WELANDS PRESENT ON THIS SITE.

CITY OF MILFORD APPROVAL

MARK WHITFIELD CITY MANAGER DATE

CITY PLANNING DEPARTMENT APPROVAL

PLANS HAVE BEEN REVIEWED AND ARE FOUND TO BE IN GENERAL CONFORMANCE WITH THE MOST RECENTLY ADOPTED AND/OR CERTIFIED VERSIONS OF THE CITY OF MILFORD'S CODE OF ORDINANCES AND COMPREHENSIVE LAND USE PLAN. THE OWNER AND THEIR ENGINEER AND/OR SURVEYOR ASSUME ALL RESPONSIBILITY FOR THE DESIGN AS CONTEMPLATED HEREIN AND ACCURACY OF ALL INFORMATION SHOWN HEREON.

DAVIS, BOWEN & FRIEDEL, INC. DATE
 BY CLIFTON D. MUMFORD

CITY ENGINEER APPROVAL

CONSTRUCTION IMPROVEMENTS PLANS HAVE BEEN REVIEWED AND ARE FOUND TO BE IN GENERAL CONFORMANCE WITH THE CITY OF MILFORD'S STANDARD SPECIFICATIONS FOR INSTALLATION OF UTILITY CONSTRUCTION PROJECTS AND SUBDIVISION PAVEMENT DESIGN. THE OWNER AND THEIR ENGINEER AND/OR SURVEYOR ASSUME ALL RESPONSIBILITY FOR THE DESIGN AS CONTEMPLATED HEREIN AND ACCURACY OF ALL INFORMATION SHOWN HEREON.

PRINT NAME _____ DATE _____
 SIGNATURE _____ DATE _____
 JASON MCCLAFFERTY, P.E. CITY ENGINEER DATE

ENGINEER'S STATEMENT

I, CLIFTON D. MUMFORD, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

OWNER'S CERTIFICATION

WE, MARYLAND SQUARE LLC, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SHEET INDEX

TITLE SHEET	PL-01
PRELIMINARY SITE PLAN	PL-02

ARCHITECTS ENGINEERS SURVEYORS
 DAVIS, BOWEN & FRIEDEL, INC.
 1000 W. MARKET STREET, SUITE 200
 MILFORD, DELAWARE 19963
 PHONE: (302) 424-1441
 FAX: (302) 424-0430
 (410) 770-4744

2021-07-02: CITY OF MILFORD

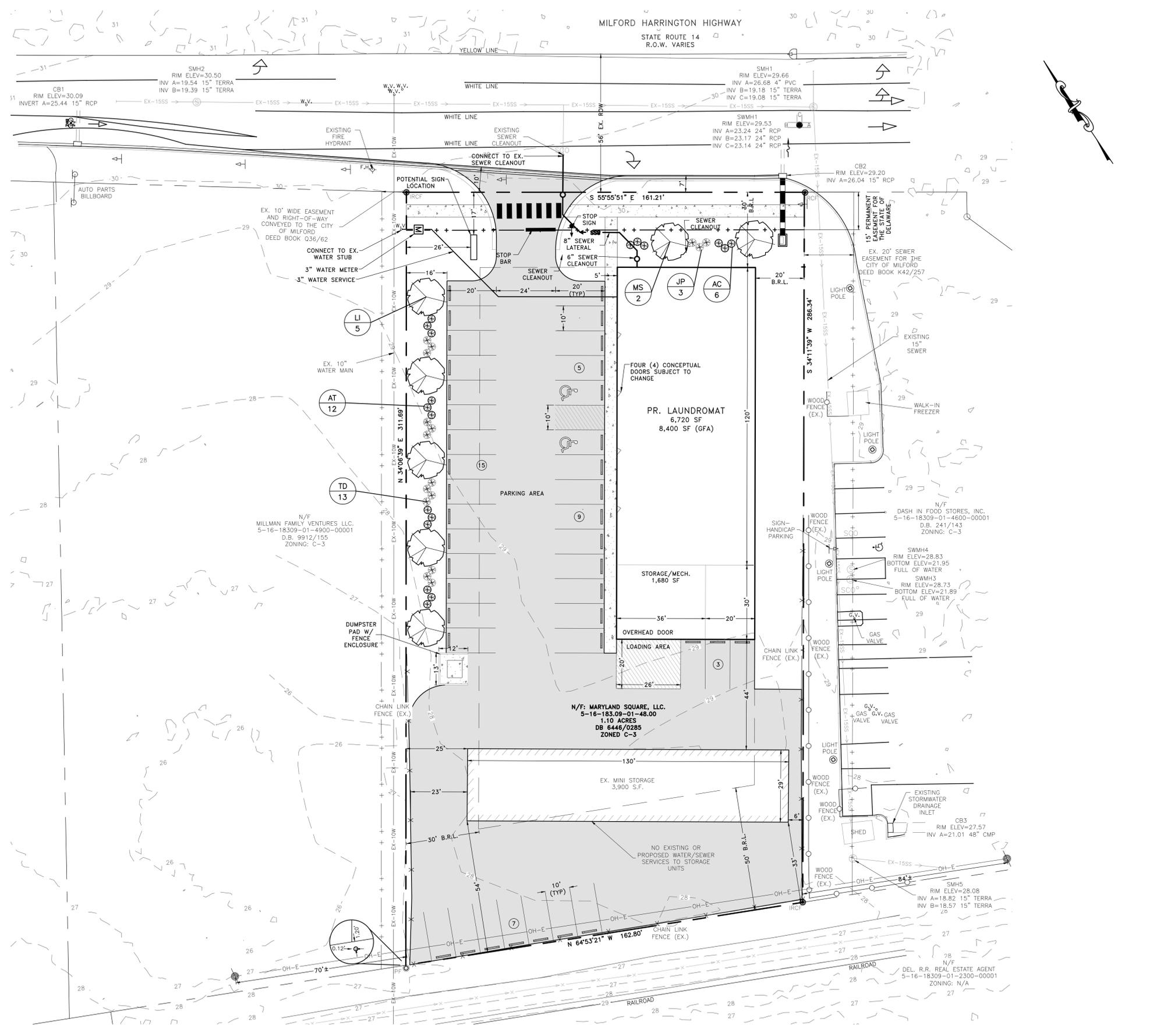
Date: MAY, 2021
 Scale: AS NOTED
 Dwn.By: TCB
 Proj.No.: 3845A001
 Dwg.No.: PL-01

PRELIMINARY PLAN

WASH IT, LLC.
 25 MILFORD HARRINGTON HIGHWAY
 CITY OF MILFORD, KENT COUNTY, DELAWARE

P:\Hill Distributors\3845A001_25 Milford Harrington Hwy\Design\Pre\3845A001-TITLE SHEET.dwg, Jul 02, 2021, 9:00am BART

LANDSCAPE PLANT SCHEDULE					
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	LI	Lagerstroemia indica x fauriei 'Tuscarora'	TUSCARORA CRAPE MYRTLE	6-7' Ht., B&B	5
	MS	Malus sargentii	SARGENT CRAB	5-6' Ht., B&B	2
	AC	Azalea 'GIRARD CAROLINE'	GIRARD CAROLINE AZALEA	15-18", Cont.	6
	AT	Azalea 'TRADITION'	TRADITION AZALEA	18-24", Cont.	12
	JP	Juniperus chinensis 'PFITERANA COMPACTA'	COMPACT PFITZER JUNIPER	2-3' Ht., B&B	3
	TD	Taxus x media 'DENSIFORMIS'	DENSE YEW	2-3' Ht., B&B	13



P:\Hill Distributors\3845A001_25 Milford Harrington Hwy\Design\Pre\3845A001 - PRELIM.dwg, Jul 02, 2021 - 5:29pm njm:mc

ARCHITECTS ENGINEERS SURVEYORS
DAVIS, BOWEN & FRIEDEL, INC.
 1000 W. MARKET ST.
 MILFORD, DELAWARE 19967
 (302) 424-1441
 EASTON, MARYLAND (410) 770-4714

PRELIMINARY PLAN

WASH IT, LLC.
25 MILFORD HARRINGTON HIGHWAY
CITY OF MILFORD, KENT COUNTY, DELAWARE

Revisions:
 2021-07-02: CITY OF MILFORD

Date: **MAY 2021**
 Scale: **1" = 20'**
 Dwn. By: **TCB**
 Proj. No.: **3845A001**
 Dwg. No.:

PL-02

General Notes:

Consultant:

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION.

Revision

Project:
WASH-IT, LLC.

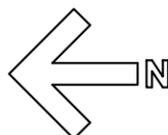
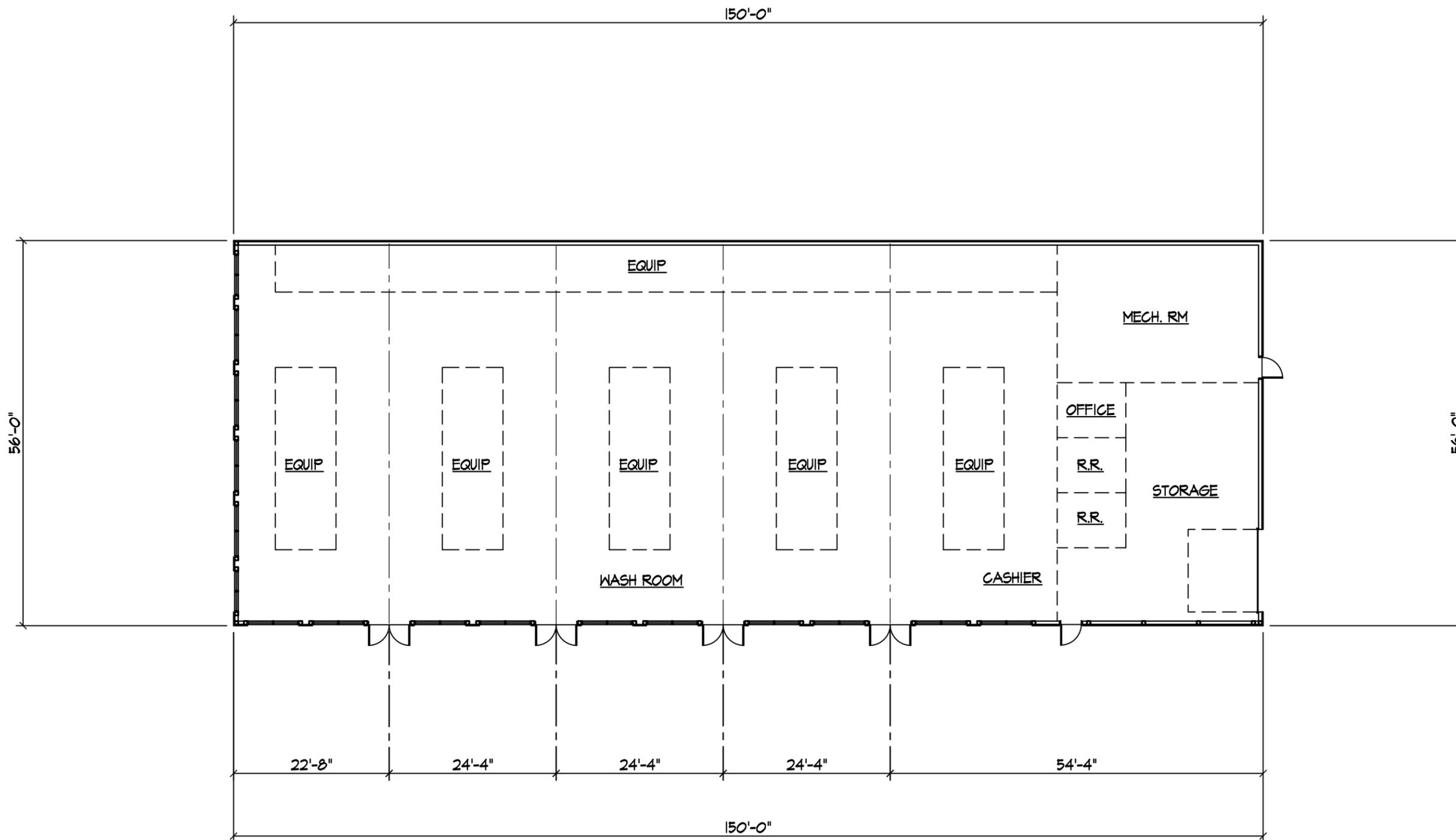
**25 MILFORD HARRINGTON HWY
 MILFORD, DE 19963**

Set No.:	Sheet Title:
PRELIMINARY SCHEMATIC	PRELIMINARY FLOOR PLAN

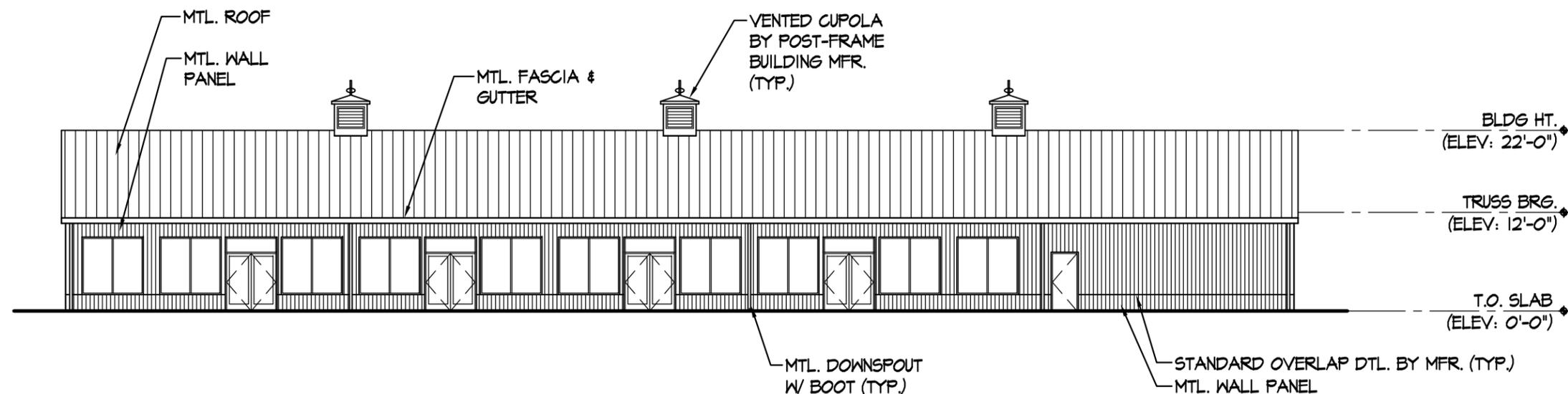
Proj.No.:	3845A001.D01
Dwn.By:	PJT
Scale:	AS NOTED
Date:	07/26/2021

Sheet No.:

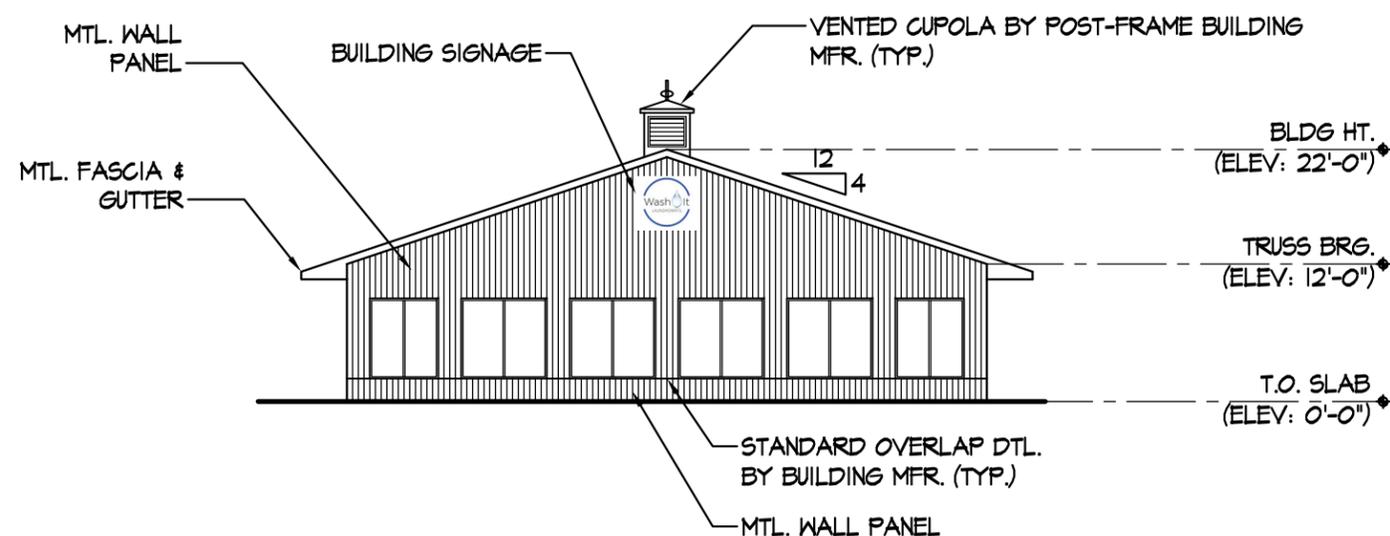
A1



1
 A1 PRELIMINARY FLOOR PLAN
 SCALE: 1/16"=1'-0"



1 WEST ELEVATION
 A2.1 SCALE: 1/16"=1'-0"



2 NORTH ELEVATION
 A2.1 SCALE: 1/16"=1'-0"

General Notes:

Consultant:

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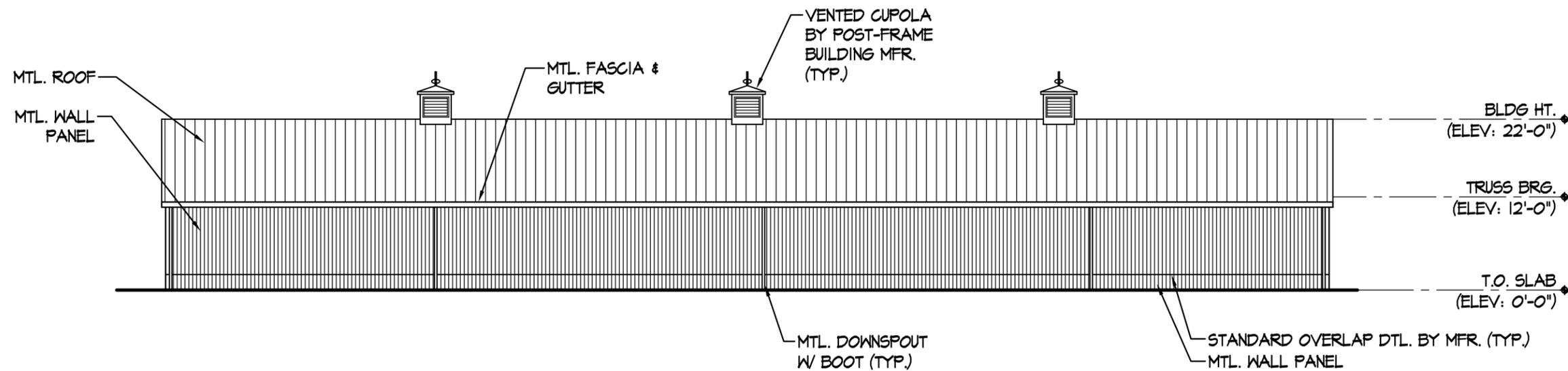
Revision

Project:
WASH-IT, LLC.

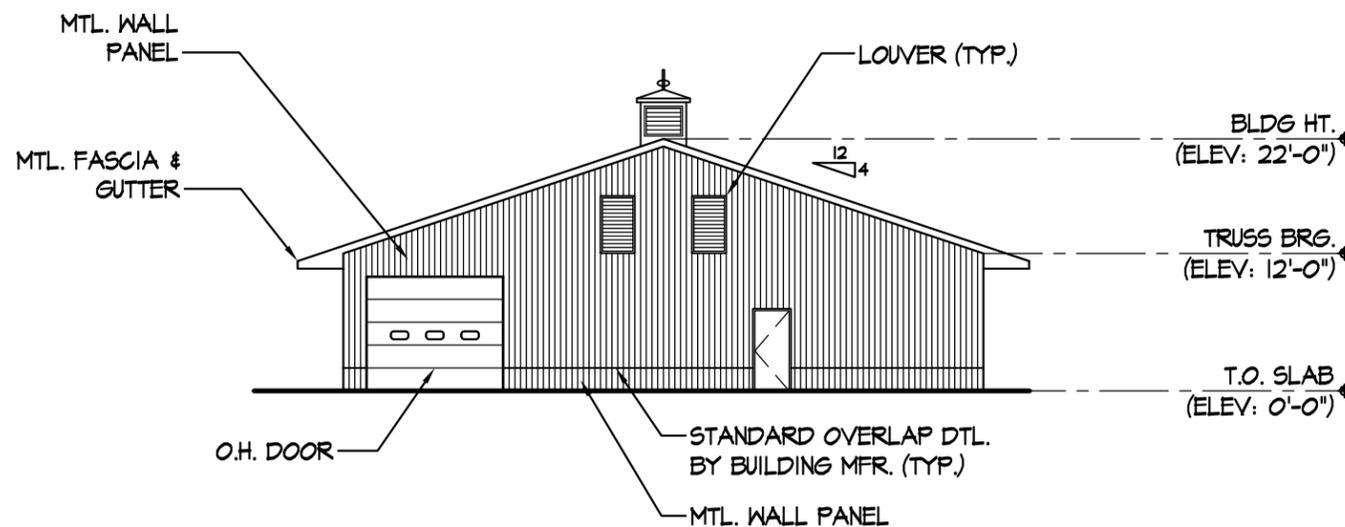
25 MILFORD HARRINGTON HWY
 MILFORD, DE 19963

Set No.:	Sheet Title:
PRELIMINARY SCHEMATIC	EXTERIOR ELEVATIONS

Proj.No.:	3845A001.D01	Sheet No.:	A2.1
Dwn.By:	PJT		
Scale:	AS NOTED		
Date:	07/26/2021		



1 EAST ELEVATION
 A2.2 SCALE: 1/16"=1'-0"



2 SOUTH ELEVATION
 A2.2 SCALE: 1/16"=1'-0"

General Notes:

Consultant:

THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO DAVIS, BOWEN & FRIEDEL, INC., AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION.

Revision

Project:
WASH-IT, LLC.

25 MILFORD HARRINGTON HWY
 MILFORD, DE 19963

Set No.:	Sheet Title:
PRELIMINARY SCHEMATIC	EXTERIOR ELEVATIONS

Proj.No.:	3845A001.D01	Sheet No.:	A2.2
Dwn.By:	PJT		
Scale:	AS NOTED		
Date:	07/26/2021		



New Wash-It Laundromat - Milford, Delaware



New Wash-It Laundromat - Milford, Delaware



**Reeven's
Auto Service**

FOREIGN DOMESTIC
LIGHT TRUCK REPAIRS



NOW
OPEN



Welcome to
Wash It
LAUNDROMATS
Hours of Operation:
8:00 am - 10:00 pm
7 Days a Week
Self-Service & Staffed

CUSTOMER
PARKING
ONLY



NO
RUNNING
PLAYING
WITH CARTS



CHANGER

CHANCE
CHANCE

ATTENDANT



ATTENDANT





SOAP
CENTER

SOAP
BLEACH
SOFTENERS
LAUNDRY
BAGS

CHANGER

We are not responsible for clothes left in machines. DO NOT LEAVE CLOTHES UNATTENDED

NO
RUNNING
PLAYING
WITH CARTS

NO
PLAYING
ON
HAND RAILS

WARNING
Do not touch the machine.
Do not use the machine if it is broken.
ADVERTENCIA
No toque la máquina.
No use la máquina si está rota.



ATTENDANT

CHANGER

NO
PLAYING
OR
HANGING
ON
EQUIPMENT

NO
SMOKING
OR
ALCOHOL
CONSUMPTION
WITHIN
THIS
AREA







NO
PLAYING
OR
SMOKE

WARNING
DANGER

EXIT





City of Milford, Delaware
Development Advisory Committee

Comment Sheet



DATE OF REVIEW: July 13, 2021

REVIEWING AGENCY: Delaware State Fire Marshal's Office, Sussex Office

INDIVIDUAL REVIEWERS: Duane T. Fox, CFPS, CFPE, CFI, Asst. Chief Technical Services
William C. Kelly, CFI, Sr. Fire Protection Specialist

AGENCY PHONE NUMBERS: 302-739-4394, Fax: 302-739-3696

RE: WASH IT LLC (21-024)

The reasons and conditions applied to this project and their sources are itemized below:

At the time of formal submittal, the applicant shall provide; completed application, fee, and three sets of plans depicting the following in accordance with the Delaware State Fire Prevention Regulation (DSFPR):

a. **Fire Protection Water Requirements:**

- Water distribution system capable of delivering at least 1500 gpm for 2-hour duration, at 20-psi residual pressure is required. Fire hydrants with 800 feet spacing on centers. (Industrial)
- Where a water distribution system is proposed for the site, the infrastructure for fire protection water shall be provided, including the size of water mains for fire hydrants and sprinkler systems.

b. **Fire Protection Features:**

- All structures over 10,000 sqft aggregate will require automatic sprinkler protection installed.
- Buildings greater than 10,000 sqft, 3-stories or more, over 35 feet, or classified as High Hazard, are required to meet fire lane marking requirements.
- Show Fire Department Connection location (Must be within 300 feet of fire hydrant), and detail as shown in the DSFPR.
- Show Fire Lanes and Sign Detail as shown in DSFPR

c. **Accessibility**

- All premises, which the fire department may be called upon to protect in case of fire, and which are not readily accessible from public roads, shall be provided with suitable gates and access roads, and fire lanes so that all buildings on the premises are accessible to fire apparatus. This

means that the access road to the subdivision from Milford Harrington Highway must be constructed so fire department apparatus may negotiate it.

- Fire department access shall be provided in such a manner so that fire apparatus will be able to locate within 100 ft. of the front door.
- Any dead end road more than 300 feet in length shall be provided with a turn-around or cul-de-sac arranged such that fire apparatus will be able to turn around by making not more than one backing maneuver. The minimum paved radius of the cul-de-sac shall be 38 feet. The dimensions of the cul-de-sac or turn-around shall be shown on the final plans. Also, please be advised that parking is prohibited in the cul-de-sac or turn around.
- The use of speed bumps or other methods of traffic speed reduction must be in accordance with Department of Transportation requirements.
- The local Fire Chief, prior to any submission to our Agency, shall approve in writing the use of gates that limit fire department access into and out of the development or property.

d. **Gas Piping and System Information:**

- Provide type of fuel proposed, and show locations of bulk containers on plan.

e. **Required Notes:**

- Provide a note on the final plans submitted for review to read “ All fire lanes, fire hydrants, and fire department connections shall be marked in accordance with the Delaware State Fire Prevention Regulations”
- Proposed Use
- Alpha or Numerical Labels for each building/unit for sites with multiple buildings/units
- Square footage of each structure (Total of all Floors)
- National Fire Protection Association (NFPA) Construction Type
- Maximum Height of Buildings (including number of stories)
- Note indicating if building is to be sprinklered
- Name of Water Provider
- Letter from Water Provider approving the system layout
- Provide Lock Box Note (as detailed in DSFPR) if Building is to be sprinklered
- Provide Road Names, even for County Roads

Preliminary meetings with fire protection specialists are encouraged prior to formal submittal. Please call for appointment. Applications and brochures can be downloaded from our website:

www.statefiremarshal.delaware.gov, technical services link, plan review, applications or brochures.

THIS DOCUMENT IS INFORMATIONAL ONLY, AND DOES NOT CONSTITUTE ANY TYPE OF APPROVAL FROM THE DELAWARE STATE FIRE MARSHAL'S OFFICE



ISO 9001:2015 CERTIFIED

ENGINEERS • PLANNERS • SCIENTISTS • CONSTRUCTION MANAGERS

1352 Marrows Road, Suite 100 • Newark, DE 19711 • Phone 302-731-9176 • Fax 302-731-7807

July 12, 2021

City of Milford
201 South Walnut Street
Milford, Delaware 19963

Attention: Rob Pierce
Subject: Wash It – Preliminary Site Plan
KCI Job No. 131803632 – Task 32

Dear Mr. Pierce,

As requested, KCI Technologies performed a review of the Preliminary Site Plan for Wash It. This review was performed on the basis of the City of Milford's Standard Specifications, Codes and general engineering best practices. The plan was submitted by DBF and is dated May, 2021, last revised July 2, 2021.

We find the plans generally acceptable, subject to the following. The remaining comments may be addressed when Construction Plans are submitted.

1. Currently, many of the items from the Preliminary Site Plan Checklist are missing from the plan. Many of the items are listed below, but all applicable items on the checklist shall be included on the plans. **Addressed.**
2. Address the following in regards to the Cover Sheet:
 - a. Revise the City Engineer approval block to be Jason McClafferty, P.E. **Addressed.**
 - b. Revise the plan accordingly so that all City of Milford General Notes are included. **Addressed.**
 - c. Add the height of the proposed building. **Addressed.**
 - d. Add the height of the existing storage building. **Addressed.**
 - e. Currently, the number of parking spaces provided is listed as 36. However, 39 spaces are shown on the plan. Verify the number of parking spaces provided and revise the listed number of parking spaces. **Addressed.**

Employee-Owned Since 1988

- f. Currently, the estimated number of EDUs is listed as 19. Revise this note to provide a calculation as to how this number was determined. In addition, the average and peak flow shall be provided. **Addressed.**
 - g. Currently, the owner/developer is listed as Maryland Square, LLC on the cover sheet. However, the owner is listed as Hammonds Partners, LLC on the site plan. Verify the owner/developer of the subject parcel and revise the cover sheet/plan accordingly to list the correct owner/developer. **Addressed.**
 - h. Add the gas provider on the cover sheet. Based on the site plan, there appears to be a gas valve labeled to the southeast of the proposed building. **Addressed – Gas will not be provided for this site.**
 - i. Verify the FEMA flood map number. It is incorrect per FEMA’s website. **Addressed.**
3. Provide dimensions from the property lines to the existing mini storage building. **Addressed.**
4. Provide dimensions from the property line to the edge of pavement. **Addressed.**
5. Provide dimensions from the northern and western property lines to the potential sign location. The minimum distance from the front and side property lines shall be 10’ and 25’, respectfully **Addressed.**
6. Currently, there is a chain link and wooden fence label along the eastern property line. Revise the plan accordingly to clarify if the fences are existing or proposed. **Addressed.**
7. Clarify whether or not curbing will be provided for the parking lot. Parking blocks shall be placed in front of all parking spaces where curb is not provided. **Addressed.**
8. Revise the plan accordingly to show the entrances of the proposed building. **Addressed.**
9. Currently, there is an existing water main along the western property line and an existing sanitary sewer main along the eastern property line. Add all existing and proposed easements to the plan. The easements shall be labeled as existing/proposed with their widths. **Addressed.**
10. Clarify on the plan if there are any existing or proposed water/sewer services to the existing storage building. **Addressed.**
11. There is an existing sanitary sewer lateral/cleanout located at the entrance of the site. Clarify the reasoning for not utilizing the existing sanitary sewer stub. In addition, if the existing sanitary sewer lateral will not be utilized, it will have to be properly abandoned. **Addressed with Comment – Cleanouts shall be provided at each bend in the lateral.**
12. Clarify the diameter of the existing sanitary sewer main. The preliminary plan indicates 15” while the boundary and topographic survey shows 12”. **Addressed.**

13. Clarify the diameter of the proposed sanitary sewer lateral. The minimum lateral size shall be 6" in diameter. **Addressed with Comment – The cleanout is labeled as 6" but the sewer lateral is labeled as 8". Provide more information on the construction plans via a cleanout detail for the transition from 8" to 6" piping for the cleanout (i.e. reducing wye or 8" x 6" reducer).**
14. Revise the sanitary sewer lateral to provide a cleanout at the property line and 5' from the proposed building. **Addressed.**
15. Revise the plan accordingly to show the existing contours on the adjacent property to the east of the subject site to demonstrate the existing drainage. **Addressed.**
16. Provide a Preliminary Landscape Plan. **Addressed.**
17. Provide existing conditions/demolition, lighting, grading, and utility plan sheets when final construction plans are submitted. **Comment Remains.**
18. Provide approvals from the following agencies prior to final approval:
 - a. Kent Conservation District. **Comment Remains.**
 - b. Fire Marshal. **Comment Remains.**
 - c. DelDOT. **Comment Remains.**

If you have any questions or comments regarding this letter, please do not hesitate to contact us any time.

Sincerely,



Eric T. Gibson,
Engineer in Training



Jason McClafferty, P.E.
Project Manager

§ 230-14. - C-3 Highway Commercial District.

In a C-3 District no building or premises shall be used and no building shall be erected or altered which is arranged, intended or designed to be used except for one or more of the following uses and complying with the requirements so indicated.

- A. Purpose. The purpose of the C-3 District is to provide for larger-scale commercial uses that may require large amounts of parking space or have a high traffic impact. These uses generally require locations on major arterial routes and serve both local and regional customers.
- B. Permitted uses. Permitted uses for the C-3 District shall be as follows:
 - (1) Those uses permitted in the C-2 District.
 - (2) Warehouses.
 - (3) Large retail outlets.
 - (4) Indoor storage accessory building.
 - (5) Fast-food restaurants and drive-in restaurants.
 - (6) Supermarkets.
 - (7) Truck and trailer rentals.
 - (8) Roadside produce market.
 - (9) Memorial stone shop.
 - (10) Outdoor commercial recreational facilities, not motorized vehicles.
 - (11) Swimming club.
 - (12) Indoor facility for amusement or assembly.
 - (13) Bus station.
- C. Conditional uses subject to special requirements. The following uses are permitted subject to receiving a conditional use permit by the City Council as provided in Article IX of this chapter:
 - (1) Motels or hotels with a minimum lot size of three acres.
 - (2) Commercial greenhouse.
 - (3) Wholesale establishment.
 - (4) Newspaper publishing or printing establishment.
 - (5) Contractors', craftsmen's or general service shops, including welding and similar shops.
 - (6) Laboratory, testing and research.
 - (7) Car repair shops.
 - (8) Used car lots.
 - (9) Telephone central office or television cable central office.
 - (10) Service station, automobile sales agency, public garage, parking garage or lot, but not including storage of wrecked cars, subject to the following special requirements:
 - (a) All facilities shall be located and all services shall be conducted on the lot.
 - (b) All repair work shall be conducted within an entirely enclosed building.
 - (c) No equipment for the service of gasoline or oil shall be placed closer to any street or property line than 20 feet.

- (d) No portion of such structure or its equipment shall be located within 500 feet of the premises of any school, hospital, church or public recreation building.
 - (e) No service station shall be located within 800 feet of another service station on the same side of the street within the same block.
 - (f) Any such use shall be permitted only where it is determined that it will not materially interfere with the main pedestrian movement in conjunction with a compact retail area.
- (11) Shopping center, subject to site plan review and the following site requirements:
- (a) The total shall not be less than one acre.
 - (b) The site must be served by public water, sewer and electricity.
 - (c) Stormwater drainage. The facilities shall be provided by the developer to handle the increase in stormwater runoff, and he shall make contributions towards the cost of off-site facilities of the shopping center.
 - (d) Traffic and parking.
 - [1] The internal circulation of traffic shall be separated from the external street system, and pedestrian and vehicular traffic shall be separated through traffic control devices and appropriate site design.
 - [2] Access to state highways shall be controlled by the State Department of Transportation.
 - [3] The minimum distance between accessways and a residential district shall be 50 feet.
 - [4] Spacing of accessway.
 - [a] From adjoining property: 50 feet.
 - [b] From minor intersections: 50 feet.
 - [c] From major intersections: 100 to 150 feet.
 - [5] Five and one-half parking spaces shall be provided per 1,000 feet of leasable area.
 - [6] Parking lots shall be attractively landscaped as shown on the general site plan.
 - (e) Setback.
 - [1] From street right-of-way: 15 feet.
 - [2] From nonresidential districts: 15 feet.
 - [3] From residential districts: 100 feet.
 - (f) Buffering and landscaping.
 - [1] There shall be a minimum of a ten-foot landscaped buffer along all lot lines. The screening shall be six feet high near residential districts.
 - [2] Ten percent of the site shall be landscaped and may include features such as pedestrian walking or rest areas and courtyards.
- (12) Day-care centers, with site plan required.
- (13) Car wash, all types (staffed, automatic, self-service, etc.).
- (14) Convenience stores with gas pumps.
- (15) Community residential treatment program.
- (16) All dwellings other than single-family with a maximum density of 12 units per acre.
- (17) Business, commercial or industrial uses that do not adversely affect neighboring properties.
- (18) Aquarium.

D. Area regulations.

- (1) Minimum lot area shall be one acre.
- (2) Maximum lot coverage shall be 80%.
- (3) Minimum lot width shall be as follows: for an interior lot 150 feet and for a corner lot 170 feet.
- (4) Height of buildings shall not exceed three stories or 35 feet, with the following exception: a motel, hotel, or aquarium may be erected to a height of over three stories, but not over five stories, and not exceeding 60 feet.
- (5) Minimum building setback shall be 30 feet.
- (6) Side yards shall be provided as follows: each lot shall have two side yards a minimum of 20 feet with a minimum aggregate width of two side yards of 50 feet.
- (7) Minimum rear yard shall be 50 feet.
- (8) Parking shall comply with the requirements provided in Article IV of this chapter.
- (9) Landscape screening shall comply with the requirements provided in Article V of this chapter.
- (10) Signs shall comply with the requirements provided in Article VI of this chapter.

§ 230-45. - Multiple permitted uses and mixed uses.

In any and all zoning districts, multiple permitted uses or mixed use of a property shall be deemed a conditional use subject to special requirements.

CITY OF MILFORD
NOTICE OF PUBLIC HEARING

Planning Commission Hearing: Tuesday, August 17, 2021 @ 7:00 PM
City Council Hearing: Monday, August 23, 2021 @ 7:00 PM

NOTICE IS HEREBY GIVEN that the following Ordinance is currently under review by Milford Planning Commission and City Council, with action scheduled to occur on the date(s) and time(s) so indicated:

ORDINANCE 2021-17

Wash It, LLC

1.105 +/- acres of land located along the south side of Milford-Harrington

Highway approximately 230 feet west of the Route 113 intersection

Address: 25 Milford-Harrington Highway

Application Type: Conditional Use

Comprehensive Plan Designation: Commercial

Zoning District: C-3 (Highway Commercial District)

Present Use: Self Storage

Proposed Use: Laundromat & Self Storage

Tax Parcel: MD-16-183.09-01-48.00

WHEREAS, Chapter 230-14(C)(17) states “business, commercial or industrial uses that do not adversely affect neighboring properties” require a conditional use subject to special requirements set forth by City Council; and

WHEREAS, Chapter 230-45 states “in any and all zoning districts, multiple permitted uses or mixed use of a property shall be deemed a conditional use subject to special requirements”; and

WHEREAS, Applicant proposes to redevelop the existing commercial property by constructing an 8,400 square foot laundromat; and

WHEREAS, the City of Milford Planning Commission considered the application during their regular meeting on Tuesday, August 17, 2021, at which time interested parties publicly commented on the application; and

WHEREAS, Milford City Council held a Public Hearing on Monday, August 23, 2021 which allowed for additional public comment after which the Conditional Use was approved through the adoption of this ordinance; and

WHEREAS, the notice as required by Chapter 230, was published in the Milford Beacon on July 28, 2021, and provided to property owners within 200 feet of the subject parcel; and

WHEREAS, this ordinance becomes effective ten days following the date of its adoption by City Council.

NOW, THEREFORE, the City of Milford hereby ordains as follows:

Section 1. Upon adoption of this ordinance, Wash It, LLC is hereby granted a Conditional Use to allow to redevelop the existing commercial property by constructing an 8,400 square foot laundromat on 1.105 +/- acres at 25 Milford-Harrington Highway currently zoned C-3, in accordance with the application, approved plans and any conditions set forth by City Council.

Section 2. Construction shall commence within one year of the date of issuance of the permit, otherwise the conditional use becomes void.

Section 3. Dates.

City Council Introduction: Monday, August 9, 2021

Planning Commission Review & Public Hearing: Tuesday, August 17, 2021

City Council Public Hearing: Monday, August 23, 2021

For additional information, please contact Rob Pierce in the Planning & Economic Development Department either by e-mail at RPierce@milford-de.gov or by calling 302.424.8396.

Advertised: *Milford Beacon 072821*

CITY OF MILFORD
NOTICE OF PUBLIC HEARING

Planning Commission Hearing: Tuesday, August 17, 2021@ 7:00 PM
City Council Hearing: Monday, August 23, 2021 7:00 PM

NOTICE IS HEREBY GIVEN that the following Ordinance is currently under review by the City of Milford Planning Commission and City Council, with action scheduled to occur on the date(s) and time(s) so indicated:

ORDINANCE 2021-18

39 North Walnut, LLC

0.26 +/- acres of land located at the southeast intersection of
N. Walnut Street and NE Front Street

Address: 39 North Walnut Street

Application Type: Conditional Use

Comprehensive Plan Designation: Commercial

Zoning District: C-2 (Central Business District)

Present Use: Mixed Use – (6) Commercial Tenant Spaces and (1) Apartment

Proposed Use: Mixed Use – (7) Commercial Tenant Spaces and (5) Apartments

Tax Parcel: MD-16-183.10-04-44.00

WHEREAS, Chapter 230-13(C)(10) states “all dwellings other than single-family with a maximum density of twelve (12) units per acre in conjunction with nonresidential use” may be permitted subject to receiving a conditional use permit by the City Council; and

WHEREAS, Chapter 230-45 states “in any and all zoning districts, multiple permitted uses or mixed uses of a property shall be deemed a conditional use subject to special requirements”; and

WHEREAS, The applicant is proposing to modify the building to include seven commercial tenant spaces on the first floor and five residential apartments on the second floor; and

WHEREAS, the City of Milford Planning Commission considered the application during their regular meeting on Tuesday, August 17, 2021, at which time interested parties publicly commented on the application; and

WHEREAS, Milford City Council held a Public Hearing on Monday, August 23, 2021 which allowed for additional public comment after which the Conditional Use was approved through the adoption of this ordinance; and

WHEREAS, the notice as required by Chapter 230, was published in the Milford Beacon on July 28, 2021, and provided to property owners within 200 feet of the subject parcel; and

WHEREAS, this ordinance becomes effective ten days following the date of its adoption by City Council.

NOW, THEREFORE, the City of Milford hereby ordains as follows:

Section 1. Upon adoption of this ordinance, a conditional use permit is hereby granted to 39 North Walnut LLC to allow seven commercial tenant spaces and five residential apartments, and multiple permitted/mixed uses of the property.

Section 2. Construction shall commence within one year of the date of issuance of the permit, otherwise the conditional use becomes void.

Section 3. Dates.

City Council Introduction: Monday, August 9, 2021

Planning Commission Review & Public Hearing: Tuesday, August 17, 2021

City Council Public Hearing: Monday, August 23, 2021

For additional information, please contact Rob Pierce in the Planning & Economic Development Department either by e-mail at RPierce@milford-de.gov or by calling 302.424.8396.

Advertised: *Milford Beacon 072821*

DATA SHEET FOR 39 NORTH WALNUT, LLC

Planning Commission Meeting: August 17, 2021

Application Number / Name	:	21-028 / 39 North Walnut, LLC
Applicant	:	39 North Walnut, LLC 39 N. Walnut Street Milford, DE 19963
Owner	:	Same
Application Type	:	Conditional Use
Present Comprehensive Plan Map Designation	:	Commercial
Present Zoning District	:	C-2 (Central Business District)
Present Use	:	Mixed Use – (6) Commercial Tenant Spaces and (1) Apartment
Proposed Use	:	Mixed Use – (7) Commercial Tenant Spaces and (5) Apartments
Size and Location	:	0.26 +/- acres of land located at the southeast intersection of N. Walnut Street and NE Front Street, addressed as 39 N. Walnut Street.
Tax Map & Parcel	:	MD-16-183.10-04-44.00

ENC: Staff Analysis Report
Exhibit A – Location & Zoning Map
Exhibit B – Property Survey



STAFF REPORT
July 26, 2021

Application Number / Name	:	21-028 / 39 North Walnut, LLC
Present Comprehensive Plan Designation	:	Commercial
Present Zoning District	:	C-2 (Central Business District)
Present Use	:	Mixed Use – (6) Commercial Tenant Spaces and (1) Apartment
Proposed Use	:	Mixed Use – (7) Commercial Tenant Spaces and (5) Apartments
Tax Map & Parcel	:	MD-16-183.10-04-44.00
Size and Location	:	0.26 +/- acres of land located at the southeast intersection of N. Walnut Street and NE Front Street, addressed as 39 N. Walnut Street.

I. BACKGROUND INFORMATION:

- The applicant owns an existing mixed-use building containing 6 commercial tenant spaces on the first floor and a single apartment on the second floor. The applicant is proposing to modify the building to include 7 commercial tenant spaces on the first floor and 5 residential apartments on the second floor as shown on the provided exhibits.
- Chapter 230-13(C)(10) states “all dwellings other than single-family with a maximum density of 12 units per acre in conjunction with nonresidential use” may be permitted subject to receiving a conditional use permit by the City Council.
- Chapter 230-45 states “in any and all zoning districts, multiple permitted uses or mixed use of a property shall be deemed a conditional use subject to special requirements.”

II. STAFF ANALYSIS:

Based on the information presented, the City of Milford Code, and the Comprehensive Plan, staff submits the following regarding the request for the Conditional Use:

- The applicant sought a variance from the Board of Adjustment for the 12 units per acre limitation on the residential density. The Board reviewed a request to increase the density from 12 units per acre to 20 units per acre at the August 12, 2021 public hearing. The conditional use application request for 4 additional apartments is dependent upon this variance approval.
- Evaluation based on the criteria found under Chapter 230-48 Conditional Uses.

A. The presence of adjoining similar uses.

The Central Business District has several buildings with first floor commercial and residential units above. The proposed use would be similar to several other properties along Walnut Street and Front Street, and is consistent with the character of the neighborhood. The property to the south contains multiple commercial tenants. The property is bound to the north by NE Front Street, to the east by N. Washington Street and to the west by N. Walnut Street.

B. An adjoining district in which the use is permitted.

The proposed mixed-use structure is consistent with the purpose and intent of the C-2 Central Business District.

C. There is a need for the use in the area proposed as established by the Comprehensive Plan.

The Comprehensive Plan promotes mixed use development in the Central Business District. The combination of first floor commercial and second floor residential would be consistent with the Comprehensive Plan, the Downtown Master Plan, and the goals of the Downtown Development District Plan. The proposal would provide additional housing options in the downtown area.

D. There is sufficient area to screen the conditional use from adjacent different uses.

The property to the south contains multiple commercial tenant spaces. No screening is proposed nor needed since the proposed use is consistent with the surrounding uses and the purpose of the central business district.

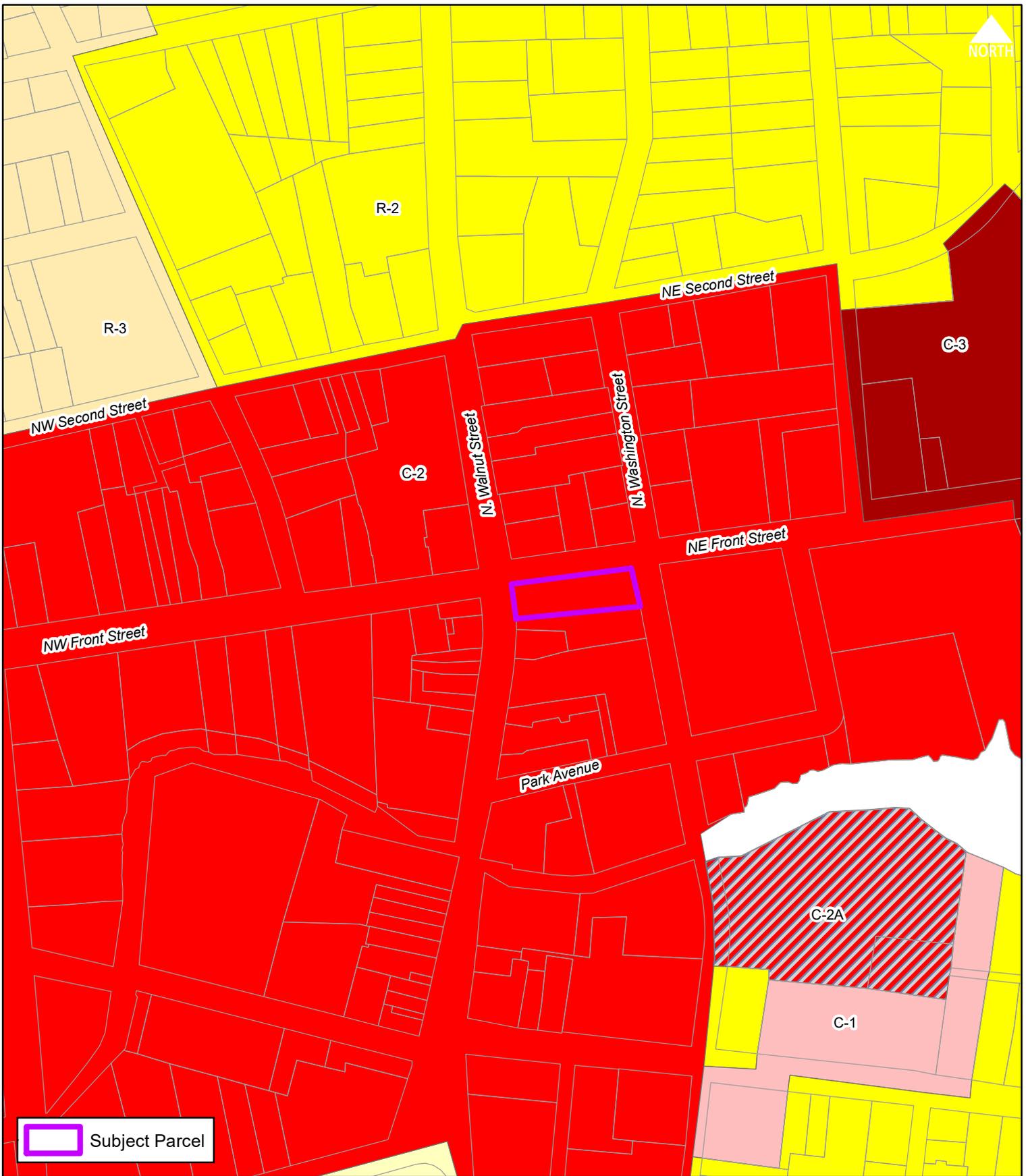
E. The use will not detract from permitted uses in the district.

The proposed mixed-use structure is consistent with the purpose and intent of the C-2 Central Business District and should not detract from similar adjacent mixed use and commercial structures.

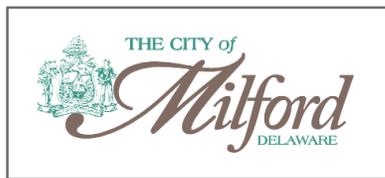
F. Sufficient safeguards, such as traffic control, parking, screening and setbacks, can be implemented to remove potential adverse influences on adjoining uses.

The subject parcel is located within the Central Business District which does not require off-street parking for permitted uses. The residents, employees and customers of the proposed uses would utilize existing off-street public parking lots maintained by the City and on-street parking. The proposed uses would be located within the existing structure and no additions are being proposed, therefore there would be no change in building setbacks from the current conditions. No screening is proposed nor needed since the proposed use is consistent with other uses in the neighborhood.

- If the Planning Commission and City Council elect to approve the applicant's request, staff recommends the following minimum conditions of approval:
 - The applicant must obtain a building permit from the Planning Department and obtain approval from the State Fire Marshal's Office and State Plumbing Office.
 - The applicant should consider maintaining the historic character of the building and work with the State of Delaware Division of Cultural Affairs and local resources to maintain an appearance consistent with the historic downtown area.



 Subject Parcel



Scale:
 Feet
 0 100 200

Drawn by: WRP Date: 07/26/21

Title:
Conditional Use & Variance
39 North Walnut, LLC
Location & Zoning Map

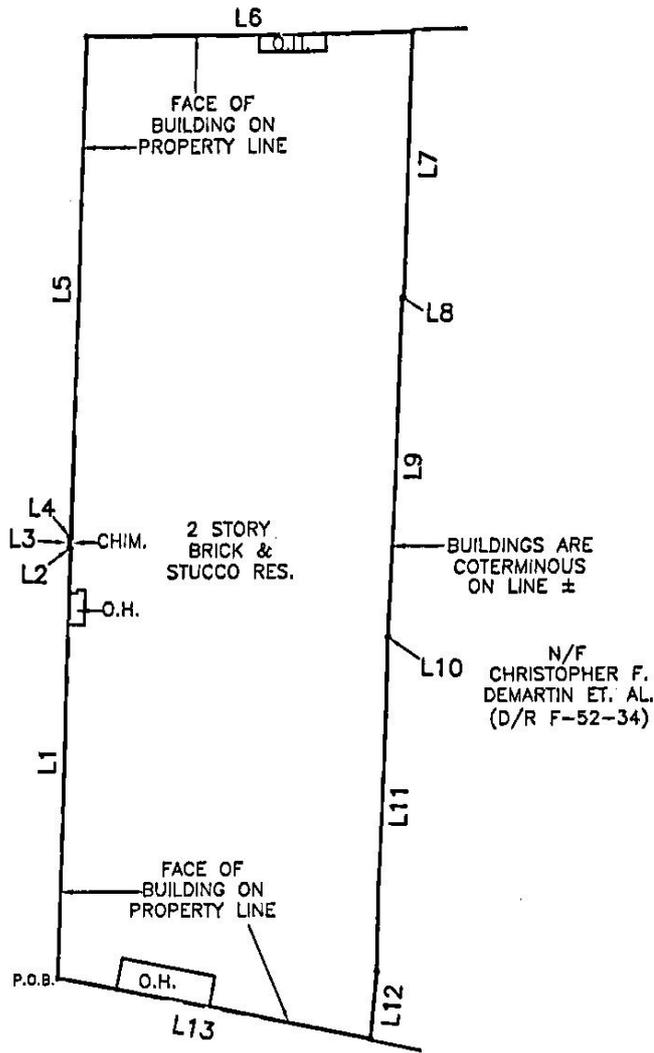
Filepath: CU_39NorthWalnut.mxd

LINE	BEARING	DISTANCE
L1	N 72°12'27" E	83.26'
L2	N 17°08'12" W	0.35'
L3	N 72°51'48" E	2.10'
L4	S 17°08'12" E	0.36'
L5	N 72°05'02" E	94.82'
L6	S 19°27'02" E	61.15'
L7	S 71°54'03" W	49.87'
L8	N 17°51'49" W	0.36'
L9	S 72°08'11" W	64.38'
L10	N 17°37'28" W	0.14'
L11	S 72°22'32" W	64.72'
L12	S 76°09'16" W	13.00'
L13	N 08°18'06" W	60.55'



WASHINGTON STREET

NORTHEAST FRONT STREET



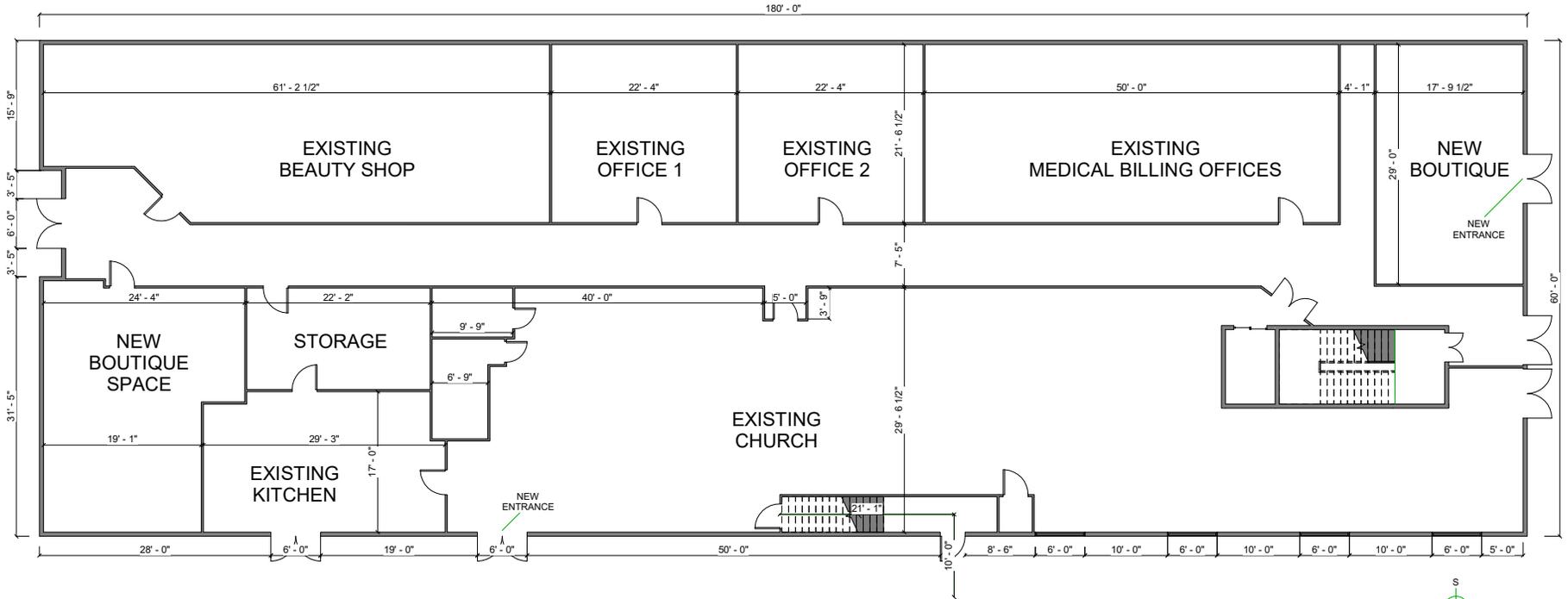
WALNUT STREET

REVISED 12/8/20

I, DONALD A. ELROD OR SHAUNTI E. SZWED, HEREBY REGISTERED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF DELAWARE, HEREBY STATE THAT THE INFORMATION SHOWN ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND IT MEETS THE STANDARDS OF PRACTICE AS ESTABLISHED BY THE STATE OF DELAWARE BOARD OF PROFESSIONAL LAND SURVEYORS. ANY CHANGES TO THE PROPERTY CONDITIONS, IMPROVEMENTS, BOUNDARY OR PROPERTY CORNERS AFTER THE DATE SHOWN HEREON SHALL NECESSITATE A NEW REVIEW AND CERTIFICATION FOR ANY OFFICIAL OR LEGAL USE. THE IMPROVEMENTS SHOWN HEREON HAVE BEEN LOCATED AND LIE WITHIN THE LOT BOUNDARIES UNLESS SHOWN OTHERWISE. THIS PLAN IS INTENDED FOR THE USE OF THE PARTIES INVOLVED WITH THIS LAND TRANSACTION AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE, WITHOUT WRITTEN PERMISSION OF THE LAND SURVEYOR RESPONSIBLE FOR ITS CONTENTS. FENCES, TREES, LANDSCAPING OR OTHER FEATURES HAVE NOT BEEN LOCATED UNLESS SHOWN AND DIMENSIONED. PROPERTY IS SUBJECT TO ANY AND ALL RESTRICTIONS AND EASEMENTS OF RECORD, IF THIS DRAWING DOES NOT CONTAIN AN ORIGINAL SIGNATURE AND RAISED IMPRESSION SEAL IT IS NOT IN COMPLIANCE WITH REGULATIONS AND IS A PRELIMINARY DRAFT ONLY.

PROPERTY TO BE CONVEYED TO: 39 NORTH WALNUT, LLC		ZONED: C2 SETBACKS: FRONT-NONE REAR-NONE SIDE-NONE	
BOUNDARY SURVEY PLAN 39 NORTH WALNUT STREET CITY OF MILFORD KENT COUNTY - DELAWARE TAX PARCEL # MD-16-18310-04-44.00-000		AMERICAN EASTCOAST SURVEYING & MAPPING 3913 OLD CAPITOL TRAIL WILMINGTON, DE. 19805 PHONE: 302-993-1059 EMAIL: OFFICE@AESURVEYORS.COM	
		SCALE: 1"=30' DATE: 10/10/20	
DEED REF: BK.367 PG.213	PLAT REF:	JOB # 20203272	CLASS S SURVEY

39 North Walnut St 1ST FLOOR LAYOUT

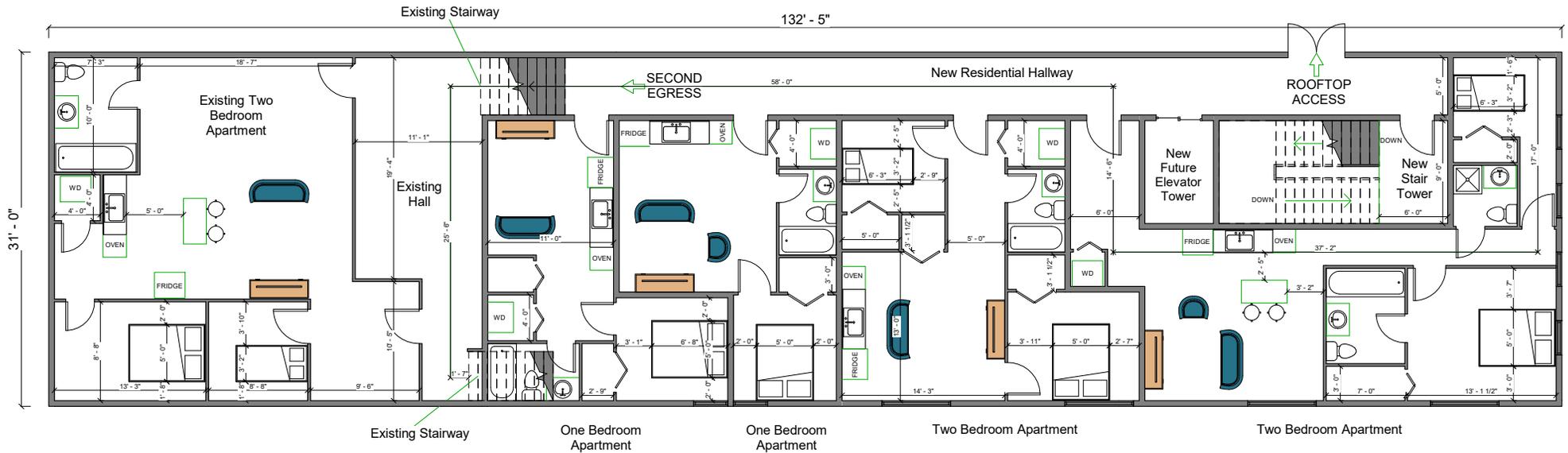


Property Owner:
39 North Walnut LLC
39 N Walnut St
Milford, DE 19963

Contractor / Architect:
King Design + Building Services LLC
35697 Seagull Rd
Selbyville, DE 19975

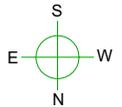


39 North Walnut St 2ND FLOOR LAYOUT



Property Owner:
39 North Walnut LLC
39 N Walnut St
Milford, DE 19963

Contractor / Architect:
King Design + Building Services LLC
35697 Seagull Rd
Selbyville, DE 19975



Conditional use narrative for 39 North Walnut

39 North Walnut LLC purchased the Penny Square building in December 2020. The owners also own and operate easySpeak spirits on Milford Harrington Highway. It took several months to work through the Delaware Historic Preservation Office, and deal with some environmental issues through DNREC. Recently work has begun on the exterior of the building, as this is the most important item to Downtown Milford and local residents. We were able to start work within 2 weeks of receiving approvals, and will continue to work diligently until the exterior of the building is brought back to its former glory. The plan for the property is a mixed used building with 5 apartments on the second story, and over 10,000 square feet of mixed commercial space on the main floor.

39 North Walnut LLC seeks a conditional use approval from the City of Milford, to transform the Penny Square building to a mixed use property. The existing site is all commercial with one existing apartment. We would like to convert the 3000 square foot open 2nd story space to 4 high end apartment units. The end product of the building will be 5 apartments upstairs and over 10,000 square feet of mixed commercial downstairs.

This use is consistent with most other buildings on Walnut Street, and there currently is a large demand for housing in the area. The additional housing in Downtown Milford will help the growth of downtown, and these units will have higher end finishes and amenities to attract working professionals.

§ 230-13. - C-2 Central Business District.

In a C-2 District no building or premises shall be used and no building shall be erected or altered which is arranged, intended or designed to be used except for one or more of the following uses and complying with the requirements so indicated.

- A. Purpose. The purpose of the C-2 District is to create an atmosphere that encourages the preservation and revitalization of the Central Business District. Specifically, the regulations are designed to encourage the development and opening of new businesses. This may be accomplished by providing an attractive and convenient shopping center or mall that is organized and developed as an integrated unit. The district regulations also recognize the unique circumstances that are peculiar to the downtown area.
- B. Permitted uses. Permitted uses for the C-2 District shall be as follows:
- (1) Those uses permitted in the C-1 District.
 - (2) General merchandise stores, including such uses as department stores, apparel and accessories, hardware, shoes, drugs and variety stores.
 - (3) Specialty retail stores, including such uses as gifts, antiques, crafts, newspapers, tobacco, flowers, sporting goods, books, jewelry, leather goods and stationery stores.
 - (4) Personal service establishments, including such uses as barbers, beauticians, shoe repair and tailors.
 - (5) Financial institutions, loan companies and banks.
 - (6) Restaurants, excluding fast-food or franchised food service operated restaurants.
 - (7) Taverns and tap rooms.
 - (8) Retail food stores, including bakeries, confectionery, candy or gourmet shops, small convenience grocery shops (without gas pumps) and meat, fish or produce stores.
 - (9) Professional services and administrative activities, including such uses as offices of agents, brokers, physicians, dentists, attorneys, architects, engineers, musicians and artists and governmental offices serving the public.
 - (10) Libraries, museums, art galleries and public information centers.
 - (11) Churches and other places of worship.
 - (12) Fraternal, social service, union or civic organization.
 - (13) Tourist home, boardinghouse, rooming house or lodging house.
 - (14) Studio for artists, designers, photographers, musicians, sculptors and related uses.
 - (15) Commercial parking lot, public garage or multilevel parking garage and off-street parking.
 - (16) Municipal and public services and facilities, including City Hall, water storage towers, water reservoirs, water pumping stations, water treatment plants, sewage pumping stations, sewers (storm and sanitary), street rights-of-way, utility transmission and distribution lines, public transportation bus or transit stops, police and fire stations and substations for electric, gas and telephone facilities.
 - (17) Publishing, printing and reproduction establishments.
 - (18) Repair and servicing as an accessory activity of any article for sale in the same establishment.
 - (19) Indoor storage facilities as an accessory use to any of the permitted uses in this district.
 - (20) The outdoor display of merchandise, if done in a reasonable manner and if the display is kept neat and orderly as determined by the Code Official. Furthermore, the outdoor display may not interfere with the safe and efficient flow of pedestrian traffic.

- (21) Family day care, which shall involve a maximum of six full-time and two after-school children, as specified by state regulations.
- (22) Craft distillery and microbrewery establishments, provided that:
- (a) All permits and approvals required by the Delaware Alcoholic Beverage Commission are obtained and remain in full force and effect.
 - (b) All aspects of the distilling or brewing process are completely confined within a building, including storage of all materials and finished products.
 - (c) Such establishment offers the public, on a regular and continuing basis, various activities ancillary to its distilling and/or brewing process, including by way of example: tours of the premises, educational classes, demonstrations, tasting rooms, and retail sales areas limited to the sale of beer, mead, cider, or spirits brewed or distilled on the premises for consumption off-premises and other retail items.
 - (d) On-site consumption or tasting associated with a craft distillery or microbrewery establishment shall be permitted. Any area associated with on-site consumption or tasting shall not operate as a stand-alone bar or tavern, shall be located on the premises of the craft distillery or microbrewery establishment, and shall be ancillary to the primary use. "Ancillary" for purposes of this section means subordinate, auxiliary, smaller and less intensive than the primary use. On-site consumption or tasting of alcohol shall be limited to those products brewed or distilled on the premises, except as otherwise permitted by Delaware Law.
 - (e) All food sales shall be limited to prepackaged snack items or those food items prepared by a food establishment licensed by the State of Delaware. If a craft distillery or microbrewery intends to operate on its premises a food establishment that is otherwise a permitted use in this district (i.e. restaurant, café, or full-service restaurant), the City may require the property owner to provide the City with a letter of no objection from the Delaware Alcoholic Beverage Control Commissioner regarding the operation of a food establishment on the premises of a craft distillery or microbrewery.
 - (f) Outdoor seating and gathering areas shall be permitted subject to the following requirements:
 - i. Permanent and temporary outdoor seating and gathering areas shall be subject to building permit application and approval requirements.
 - ii. Outdoor seating and gathering areas and ancillary improvements shall include physical barriers from public rights-of-way and physical and visual barriers from adjoining properties. Physical barriers along public rights-of-way shall restrict access from the public rights-of-way to the outdoor seating and gathering areas and shall not exceed four feet in height. Barriers along adjoining property lines shall create a physical and visual barrier consisting of fencing six feet in height or vegetation at least six feet in height. The regulations herein shall be in addition to any regulations imposed by the State of Delaware.
 - iii. Maximum occupancy and points of ingress/egress shall be clearly marked. Occupancy of outdoor seating and gathering areas shall not exceed one person per 15 square feet of the outdoor seating and gathering areas identified in the building plans or any other occupancy limit established by the Office of the State Fire Marshall.
 - iv. All structures and uses related to outdoor seating and gathering areas and facilities are subject to the City of Milford Building Code and the City of Milford Zoning Code.
 - v. The occupancy of outdoor seating and gathering areas shall be included when calculating the building requirements and minimum parking standards required by the City of Milford and State of Delaware. Outdoor seating and gathering areas shall meet all requirements of the City of Milford and the State of Delaware.

- vi. Tables, chairs, umbrellas, equipment, games, and any other items provided in connection with outdoor seating and gathering areas shall be maintained in good repair and shall be secured during non-business hours in a safe and orderly manner.
 - vii. Any licensing required by the Delaware Alcoholic Beverage Control Commissioner for outdoor seating and gathering areas shall be obtained.
- C. Conditional uses subject to special requirements. The following uses are permitted subject to receiving a conditional use permit by the City Council as provided in Article IX of this chapter:
- (1) Commercial indoor recreation activities, including amusement arcades, indoor theaters, social clubs, youth clubs or similar facilities.
 - (2) Laundromats and dry-cleaning establishments.
 - (3) Undertakers.
 - (4) Motels and hotels.
 - (5) Instructional, business or trade stores.
 - (6) Fast-food or franchised food service operated restaurants.
 - (7) Day-care centers.
 - (8) Small convenience grocery shops with gas pumps.
 - (9) Community residential treatment program.
 - (10) All dwellings other than single-family with a maximum density of 12 units per acre and in conjunction with nonresidential use.
- D. Area regulations.
- (1) Minimum lot area shall be 2,500 square feet for any permitted use, together with its accessory buildings, provided that parking and loading space are provided in accordance with Article VI of this chapter.
 - (2) Minimum lot width shall be 50 feet.
 - (3) Height of buildings shall not exceed 35 feet.
 - (4) There shall be no required setback, rear yard or side yard.
 - (5) Signs shall comply with the requirements provided in Article VI of this chapter.



Sussex County Association of Towns

37 The Circle, Georgetown, Delaware 19947

S.C.A.T. Dinner for Wednesday, September 1, 2021

Town of Bethany Beach

Town of Bethel

Town of Blades

Town of Bridgeville

Town of Dagsboro

Town of Delmar

Town of Dewey Beach

Town of Ellendale

Town of Fenwick Island

Town of Frankford

Town of Georgetown

Town of Greenwood

Town of Henlopen Acres

Town of Laurel

City of Lewes

City of Milford

Town of Millsboro

Town of Millville

Town of Milton

Town of Ocean View

City of Rehoboth Beach

City of Seaford

Town of Selbyville

Town of Slaughter Beach

Town of South Bethany

Sussex County Council

LOCATION: Bear Trap Dunes
7 Clubhouse Drive
Ocean View, DE 19970
Dunes Room

TIME: 6:00 pm – Cash Bar
6:30 pm – Dinner

HOST: Town of Ocean View

SPEAKER: Michelle Freeman, President of Carl M. Freeman Companies

COST: \$45.00 per person

MENU: - Mixed Greens Salad – Mixed Greens, Roasted Beets, Sliced Red Onion, Feta, Toasted Almonds, Balsamic
- Sliced Sirloin with red wine demi-glace, mushrooms and onions, cooked medium
- Seared Grouper with Spinach & Sundried Tomato, Lemon Beurre Blanc
- Herbed Roasted Potatoes
- Seasonal Vegetable Medley
- Rolls and Butter
- Coffee, Teas, Iced Tea, Lemonade

For reservations, please contact Donna Schwartz at (302) 539-9797 ext. 104 or by email: dschwartz@oceanviewde.gov no later than August 25, 2021 BY NOON

Please make checks payable to **Town of Ocean View**
Mail to: Town of Ocean View
Attn: Donna Schwartz
201 Central Avenue
Ocean View, DE 19970

Reminder: S.C.A.T. Steering Committee Breakfast

SPEAKER: Jack Riddle, Community Bank

Friday, September 3, 2021 at 9AM

Location: First State Community Action Agency

308 North Railroad Avenue, Georgetown, DE 19947

RSVP to Kristen Dabrowski kdabrowski@georgetowndel.com



DEMEC

Delaware Municipal Electric Corporation

22 Artisan Drive, PO Box 310, Smyrna, Delaware 19977 Phone 302 653-2733 Fax 302 653-2734

August 13, 2021

TO: DEMEC Member City/Town Clerks
FROM: Kendra Friel, Training & Events Coordinator
SUBJ: DEMEC 27th Annual Gathering

Enclosed are invitations to DEMEC's 27th Annual Gathering on **Thursday, September 9th** at the DEMEC Training Facility located at 22 Artisan Dr, Smyrna, DE.

Please promptly distribute this invitation to your councils/boards and utility committees. This annual gathering will be used as a forum for networking with your fellow DEMEC members, learning more about DEMEC, and recognizing member accomplishments. Therefore, please encourage attendance.

The program will be as follows:

4:30 PM Beasley Power Station Tours Begin
5 - 6:30 PM Social Networking
6:30 – 7 PM Presentation and Member Recognition

Please let us know if you have any questions by calling 302-653-2733 or emailing trainingandevents@demecinc.net.



Carlisle Fire Company Inc.

PO Box 292 – 615 NW Front St Milford De 19963

Phone (302)422-8001 Fax (302)422-2146 Web: www.carlisle42.com

Office of the President

To City Manager Mark Whitfield and all those it may concern,

The Carlisle Fire Co., Inc. is formally requesting to be placed on the agenda for the City Council meeting on August 23, 2021. The reasoning for this, is the intent to request funds from the Carlisle Fire Co, Inc. Building Enhancement fund in the total of \$100,000.00 Please reference below as outline for expenditures of funds acquired.

Best Regards,

Tor A. Hazzard-President

Industrial Fans for Engine Bay- \$12,000.00

Perimeter Fence for back lot- \$40,000.00

Banquet Hall Restroom remodel- \$10,000.00

Boomer/Break room remodel- \$13,000.00

Striping and finishing of Engine Bay floor- \$15,000.00

800 MHz radio programming(encryption)- \$10,000.00

MEMORANDUM OF AGREEMENT
BETWEEN THE
CITY OF MILFORD
AND
DELAWARE DEPARTMENT OF TRANSPORTATION

This agreement (hereinafter, the “Agreement”), made and entered into this ____ day of _____, 2021, by and between the City of Milford, hereinafter the “City”, and the State of Delaware, Department of Transportation, hereinafter “DelDOT”.

RECITALS

WHEREAS, the City owns and maintains Bridge 2-504 located on Front Street at the crossing of Mispillion River in Milford, Delaware; and

WHEREAS, Bridge 2-504 is in Fair condition with a severe load restriction and is in need of replacement; and

WHEREAS, Bridge 2-504 is eligible for federal funding according to 23 USC 133; and

WHEREAS, DelDOT has standard processes for designing and administering capital transportation projects;

WHEREAS, it is in the best interest of the travelling public within the State of Delaware to maintain bridges in a state of good repair, regardless of ownership; and

WHEREAS, the City intends by this Agreement to give such municipal consent, approval, and waiver as may be required by law, pursuant to Title 17, Section §134 of the Delaware Code, as amended, for the construction, reconstruction, and improvements by DelDOT of the above mentioned **Project**.

NOW THEREFORE, the City and DelDOT for and in consideration of the mutual promises and benefits agrees, covenants, and promises with each other as follows:

- 1) DelDOT will administer contract T202107205 to design and construct the replacement of Bridge 2-504 (the “**Project**”) including obtaining all background information, performing survey, obtaining necessary permits, acquiring right-of-way, performing construction inspection, and administering the construction contract.
- 2) The City grants DelDOT any and all such power, authority and jurisdiction over, in connection with or with respect to the **Project**, as may be necessary in the opinion of DelDOT to perform the improvements under contract T202107205 within the City limits as required by 17 Del Code §134.
- 3) The City grants DelDOT access to all City-owned properties within the **Project** limits that are needed for construction access, stockpiling, and staging at no cost. DelDOT will return all disturbed areas to their pre-disturbed condition.

- 4) The City will transfer \$14,000.00 to DelDOT within 30 days of execution of this agreement, which will cover the City's portion equal to 20% of the estimated cost of \$70,000.00 for the design and right-of-way phases. Upon completion of design and prior to advertising the construction contract, the City will transfer their portion equal to 20% of the estimated construction and construction related costs currently estimated at \$320,000.00 for the match (\$1,600,000.00 total). Within 90 days of final acceptance of the **Project**, DelDOT will invoice the City for their portion of the outstanding balance. Likewise, if the **Project** costs total less than the original estimates, DelDOT will reimburse the City their portion of the difference within 90 days of final acceptance.
- 5) The funds associated with this agreement will only be applied to the noted **Project**. The City may audit **Project** expenditures at any time throughout the **Project**.
- 6) If the City decides at any point during design or construction to stop the **Project**, the City will be responsible for 100% of the total **Project** expenditures, including the agreed upon Federal Highway funds being provided by DelDOT.
- 7) DelDOT will provide to the City contract documents and an updated estimate at milestones during the design phase for review and comment. Additionally, DelDOT will consult with the City during construction on all change orders prior to approval. The intent of these reviews is to provide the City with the opportunity to monitor and control costs of the **Project** during design and construction.
- 8) Immediately upon final acceptance of the **Project**, the City will maintain ownership and maintenance responsibility of the **Project** limits.
- 9) In accordance with 17 Del Code §143 as amended, DelDOT agrees to make or reimburse necessary and appropriate alterations and/or relocation of City owned public utilities as part of the contract. Any betterment to said City owned public utilities shall be made at the sole cost and expense of the City. Betterment is defined in this Agreement as any upgrading or improvement to City owned public utilities made for the benefit of and/or at election of the City which is not due to the alteration and/or relocation of City owned public utilities necessitated by the **Project**.
- 10) The City will not enact or enforce an ordinance regulation or rule, which may affect or apply to all or any part of the **Project** and/or **Project** area, which the DelDOT deems, will adversely affect the traffic and parking control for the **Project** and/or **Project** area. The City hereby agrees to comply with Title 17, Section 147 and with Title 21, Chapter 41 of the Delaware Code, as amended, and with all requirements of law and any rules or regulations promulgated from time to time by DelDOT. The City agrees specifically to comply with all State laws, rules and/or regulations concerning traffic and parking control in, along, and/or over the streets, roads and/or highways within the **Project** area and particularly shall meet all requirements as found in the then existing "Delaware Manual on Uniform Traffic Control Devices for Streets and Highways" and any supplements and/or amendments thereto. For planned special events that have either a direct or indirect impact to the transportation system either through full roadway or lane closures or impacts to the normal traffic flow created by the crowds attracted to the special event through or around the **Project** area, the City agrees to comply with the

above requirements and to consult with the DelDOT ninety (90) days prior to approving the special event within the **Project** area. All temporary traffic control for special events shall comply with the requirements of the then existing "Delaware Manual on Uniform Traffic Control Devices for Streets and Highways." Responsibility for providing and erecting necessary permanent traffic control devices, including traffic signal devices, shall be included in the **Project**. Ownership and maintenance responsibilities and the replacement cost of all traffic control devices/signage after the **Project** is complete and accepted are the sole responsibility of the City.

- 11) DelDOT agrees to include in the specifications for construction of the **Project** the requirement that DelDOT's contractor shall indemnify and save harmless the City, in addition to DelDOT, from all suits, actions, or claims pursuant to the State of Delaware, Department of Transportation, Standard Specifications for Road and Bridge Construction dated August 2020, as amended, which are hereby incorporated herein. The City agrees to indemnify and save harmless DelDOT consistent with the aforesaid Standard Specifications, which are expressly incorporated and made part hereof, or to include in its specifications for any work within the **Project** area the same requirement for indemnifying and saving harmless DelDOT. In addition, the City agrees to protect and save harmless DelDOT from any claims or liability arising from questions of title, privilege or authority to use the present, or proposed rights of way for the **Project** to the exclusion of rights of way specifically acquired by DelDOT from the owners of land other than the City.
- 12) For all transactions by and between the parties under this Agreement, time is of the essence.
- 13) This Agreement contains the entire agreement and supersedes all previous agreements and understandings whether written or oral. No modification may be made unless in writing and will not be valid and binding unless and until signed by the parties hereto.
- 14) Any written notice under this agreement will be directed to:

For the City

ATTN: City Engineer
City of Milford
180 Vickers Drive
Milford, DE 19963

For DelDOT

Mr. Jason Hastings, Chief of Bridges and Structures
Division of Transportation Solutions
P.O. Box 778
Dover, DE 19903

SIGNATURE PAGE FOLLOWS

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the day and year first written above. I have read, understand, and agree to all the terms of this Agreement.

FOR THE CITY OF MILFORD

Recommended:

_____ By: _____
Witness James Puddicombe, City Engineer

Approved:

_____ By: _____
Witness Arthur J. Campbell, Mayor

FOR THE DEPARTMENT OF TRANSPORTATION

Recommended:

_____ By: _____
Witness Shanté Hastings, Chief Engineer

Approved:

_____ By: _____
Witness Nicole Majeski, Secretary

APPROVED AS TO FORM

George T. Lees III

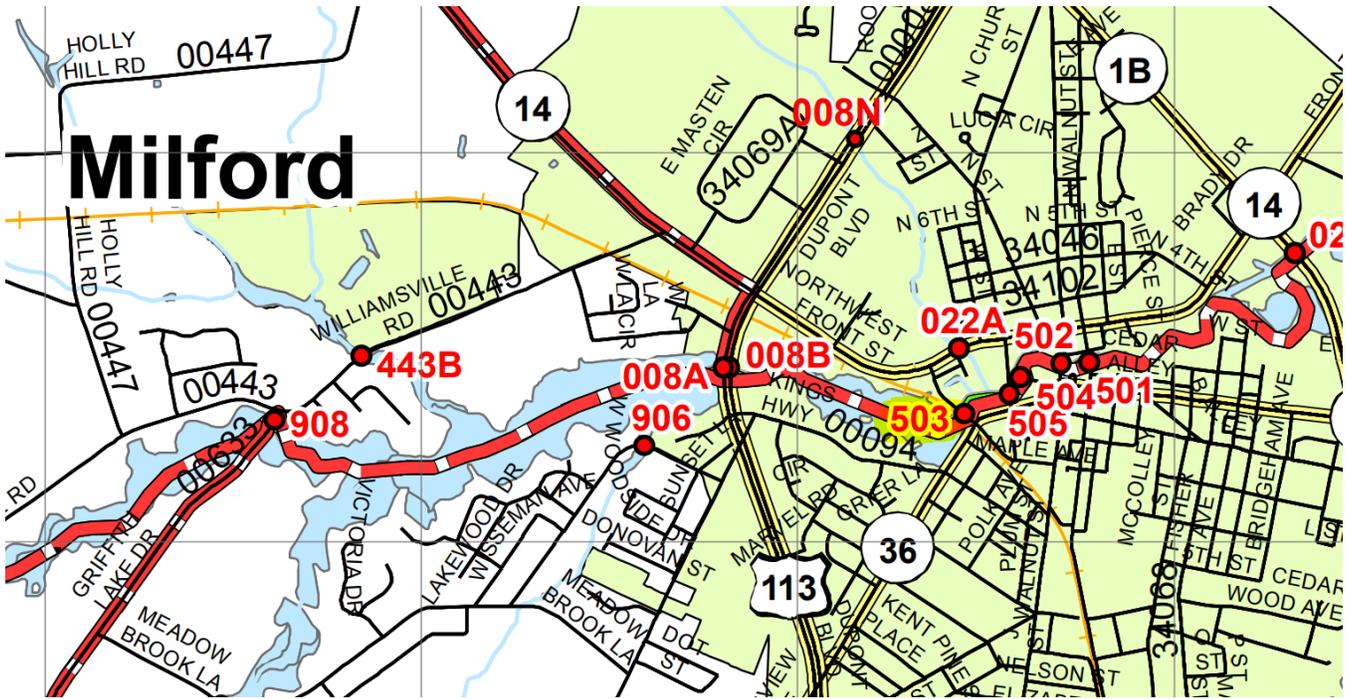
Deputy Attorney general

Date: August 19, 2021
To: Mayor and City Council
Through: Mark A. Whitfield, City Manager
Michael Svaby, Public Works Director
From: James Puddicombe, City Engineer
Re: Request for Bridge Replacement Design Funding

Pennoni performed bridge inspections on two City-owned bridges marked in the State inventory as bridges 2-503 and 2-504 located on Maple Avenue and South West Front Street, respectively, as indicated on the attached map. Bridge 2-504 was noted as deficient and assigned a weight restriction of three tons. On October 6, 2020 the City Engineer requested the bridge be placed in the queue with DelDOT for design under the Bridge Preservation Program. On August 3, 2021 DelDOT informed the City that the bridge is approaching the design phase and that the City may enter into an agreement to acquire 80% of the funding required for DelDOT to design and construct the required bridge repairs. The design work is anticipated to occur between July 2022 and October 2025 with construction to begin in the summer of 2025. This bridge replacement was anticipated at full cost in the approved FY22-26 Capital Improvements Plan (CIP) for 2025 (See line 143 in attached excerpt from CIP). Entering into the attached agreement will allow the City to shift to DelDOT 80% of the costs and 100% of the design and construction work necessary to complete the required bridge repairs. The total costs for design and construction are anticipated to be \$70,000 and \$1,600,000 respectively, with the City required to pay approximately \$14,000 for the design and \$320,000 for the construction of the SW Front Street Bridge.

Recommendation:

Staff recommends that Council approve the enclosed DelDOT agreement to commit a dollar amount equal to 20% of the DelDOT design and construction costs, with the matching funds for design funded with Municipal Street Aid (MSA) and the matching funds for construction costs to be recommended for Council approval after completion of the design phase based on funding availability in FY2024-25.



DelDOT Bridge Atlas, Page 29

City of Milford, Delaware
Capital Improvement Plan (CIP): FY22-26 as Approved by City Council May 10, 2021

	A	B	C	D	E	F	G	H	I	J
Fund/ Dept	Project	Funding Source	FY20-FY21 (Approved)	YTD Spent Thru 2/28/21	Balance Remaining	FY22 (Plan)	FY23 (Plan)	FY24 (Plan)	FY25 (Plan)	FY26 (Plan)
116	GENERAL FUND									
117	EQUIPMENT									
118	Salt Spreader (R: Highland S-049)	Replacement Reserve	-	-	-	23,000				
119	Salt Spreader (R: Highland S-050)	Replacement Reserve	-	-	-		23,000			
120	Ford F250 w/ plow & salt spreader (R: 2012 S-2)	Replacement Reserve	-	-	-			45,000		
121	Backhoe (R: John Deere S-6)	Replacement Reserve	-	-	-			105,000		
122		<i>Total Equipment</i>	\$ -	\$ -	\$ -	\$ 23,000	\$ 23,000	\$ 150,000	\$ -	\$ -
123*	INFRASTRUCTURE									
126	Misplillion Street Group 2020	MSA	434,440	-	434,440					
127		RTT	80,000	-	80,000					
128	Engineering: Various Streets (2020)	MSA	133,000	(73,810)	59,190					
129	Engineering: Various Streets (2019)	MSA	72,000	-	72,000					
130	Engineering: Fisher Ave, Plum St, Masten Cir, Roosa Rd	MSA	1,094	-	1,094					
131	Street Rehab	Various Grants/GF Reserves	-	-	-	1,400,000	840,000	840,000	840,000	840,000
132	ADA Transition Plan	Grant Funds	-	-	-	150,000	150,000	150,000	150,000	150,000
133	Walnut Street Pedestrian Crossing	Grant Funds	-	-	-	425,000				
134	Fourth Street Flooding Infrastructure Repairs	Grant Funds	-	-	-	500,000				
135	N. Washington Street Streetscape	Grant Funds	-	-	-	200,000				
136	Sidewalk Connectivity Initiative	Grant Funds	-	-	-	100,000	100,000	100,000	100,000	100,000
137	NW Front Street Streetscape (TAP Project)							50,000	300,000	
138	SW Front Street Bridge Replacement							1,500,000		
139	Park Avenue/Denny Row Streetscape							300,000		
140	SW Front Street Streetscape							300,000		
141	Franklin Street Streetscape							100,000		
142	Columbia Street Streetscape							70,000		
143	Maple Street Bridge Replacement								3,000,000	
144		<i>Total Infrastructure</i>	\$ 720,534	\$ (73,810)	\$ 646,725	\$ 2,775,000	\$ 1,090,000	\$ 3,410,000	\$ 4,390,000	\$ 1,090,000
145		TOTAL STREETS	\$ 720,534	\$ (73,810)	\$ 646,725	\$ 2,798,000	\$ 1,113,000	\$ 3,560,000	\$ 4,390,000	\$ 1,090,000
146	INFRASTRUCTURE									
147	N. Walnut St/NE Front St Lot Enhancements					140,000				
148	Park Ave Lot Enhancements					60,000				
149	SW Front St Lot Enhancements						115,000			
150		<i>Total Infrastructure</i>	\$ -	\$ -	\$ -	\$ 200,000	\$ 115,000	\$ -	\$ -	\$ -
		TOTAL PARKING	\$ -	\$ -	\$ -	\$ 200,000	\$ 115,000	\$ -	\$ -	\$ -
151	BUILDING									
152	Council Chambers Recording System Upgrade	General Fund Reserves	8,975	-	8,975					
152.5	Council Chambers Recording System for Live Streaming	ARPA	-	-	-	50,000				
153	Monitors in Council Chambers	General Fund Reserves	25,000	-	25,000					
154	City Hall Basement Fit Out	General Fund Reserves	230,690	(40,589)	190,101					
155	City Hall Parking Lot Enhancements	General Fund Reserves	-	-	-	30,000				
156		<i>Total Building</i>	\$ 264,665	\$ (40,589)	\$ 224,076	\$ 80,000	\$ -	\$ -	\$ -	\$ -
157		TOTAL CITY HALL	\$ 264,665	\$ (40,589)	\$ 224,076	\$ 80,000	\$ -	\$ -	\$ -	\$ -



TO: Mayor and City Council

FROM: Rob Pierce, Planning Director
James Puddicombe, P.E., City Engineer

DATE: August 23, 2021

RE: SE Neighborhood – East SR1 Sewer & Water Infrastructure

The City received a Utility Feasibility Study request for the Red Cedar Farms property located east of Bucks Road and north of Cedar Neck Road for 200 residential equivalent dwelling units. This property is located within the City’s southeast neighborhood. The UFS request was forwarded to KCI to evaluate the addition of this property into the City’s sewer and water system. Red Cedar Farms is responsible for the cost of the UFS for their individual property.

Regional Sewer Infrastructure Study

In an effort to coordinate and plan for area wide utility improvements, staff recommends authorizing KCI Technologies to provide concept renderings and cost estimates for sewer infrastructure for the area east of SR1. The City has received the enclosed proposal not to exceed \$10,000 for this scope of work.

Staff would attempt to coordinate a sewer cost-sharing agreement between the major property owners east of SR1 similar to what was done for the newer pump station that serves the Sussex Health Campus, Wickersham, the Wilson Contracting property and the Hall farm.

Staff recommends authorizing KCI Technologies to provide concept renderings, cost estimates and analysis for regional sewer infrastructure east of SR1 in the amount not to exceed \$10,000. The study would be paid for using sewer fund reserves.

Regional Water & Sewer Infrastructure

The 2011 SE Master Plan that was readopted by City Council as part of the 2018 Comprehensive Plan Update states “the City will construct a public water system as described in Chapter 9 to serve the Master Plan Area.” This would include a water casing and pipe crossing of SR1 from Beaverdam Road to Bucks Road.

In the event that a regional sewer cost-sharing agreement cannot be achieved amongst the property owners east of SR1, staff recommends authorizing the City to include the sewer utility crossing of SR1 in the scope of regional improvements the City would be responsible for. This guidance will affect the Red Cedar Farms proposal.

Staff would utilize KCI Technologies to design the water main extension from Beaverdam Road to Bucks Road under a future proposal for City Council authorization. Staff recommends including the sewer casing installation under SR1 in the scope of this work.

Staff recommends City Council acknowledge the need for the City to design and install the sewer casing under SR1 to serve future improvements to the Southeast Neighborhood east of SR1. The cost of the design and construction of this casing pipe, along with regional water improvements will be presented at a later date.

KCI TECHNOLOGIES, INC.
TASK ORDER AUTHORIZATION
June 11, 2021
KCI Project No. 131803632.SWS

The purpose of this form is to obtain your authorization for the work verbally requested and to confirm the terms under which these services will be provided. KCI Technologies, Inc. is pleased to provide the services described below as an amendment to the contract previously executed, dated March 26, 2018 for the Project called Municipal On-Call Services, located in Milford, Delaware.

Invoices to: City of Milford
Attention: Mark A. Whitfield
180 Vickers Drive
Milford, DE 19963

Narrative: The City has requested assistance with long-term planning for providing sewer service to the southeast region of the City. Refer to the enclosed map that the City provided showing the parcels that will be included in the study. The City has identified the need for a pump station in this area to convey flow to the existing sewer system. Depending on the sequence of development, a smaller, temporary pump station may be needed for the proposed Cedar Farms subdivision. However, the City's long-term goal is to have a single pump station to serve this region.

The temporary approach is assumed to include conveyance of the flow to the Shawnee Pump Station collection system. However, the long-term approach will likely require pumping directly to Kent County's system due to capacity of the existing infrastructure. This may also provide an opportunity to interconnect several of the City's pump stations via a shared force main to allow for all future growth in the southern region. Therefore, we have assumed that future efforts will require hydraulic modelling to analyze the capacity of the existing sewer system and adequately size the new infrastructure.

The intent of this task order proposal is to cover a preliminary study for the first phase of infrastructure expansion. Additional scope items will be identified as part of the analysis and long-term planning, and a subsequent work authorization will be submitted to the City as needed. Work performed on this task, once authorized, will be billed under the terms of the existing on-call contract, with the reference project number 131803632.SWS and project title: Southeast Wastewater Study.

Scope of Work:

Task #1 – Preliminary Feasibility Study

KCI will review the documentation provided by the City, including the utility feasibility study application for Cedar Farms, the 2012 Wastewater Facilities Evaluation report, draft public works agreements, and a Shawnee Acres Pump Station Evaluation letter report by DBF dated September 22, 2016. We will also consider the City's GIS database and pumping data that was previously provided. The enclosed map and draft public works agreements provide estimated EDU counts for the parcels within the study area. These estimates will be utilized for determining preliminary capacity needs for future infrastructure.

Phase I

KCI will develop a preliminary design and concept plan for the proposed sewer infrastructure to serve the proposed Cedar Farms development. The preliminary design will be done utilizing LIDAR data for topography and the City's GIS database for information on the existing sewer system. Additionally we

will develop conceptual designs for two “upstream” properties: Mr. Wiggles, LLC and Country Life Homes, Inc. We will assess the impacts these two properties will have on the gravity sewer system for Cedar Farms.

The design efforts will include a spreadsheet capacity analysis for a proposed pump station to convey preliminary flows from the Phase I parcels to the Shawnee PS basin. The analysis will include a check of the downstream gravity sewer system in the Shawnee PS basin to determine if there will be capacity issues that require further analysis.

Phase II

KCI will develop a preliminary design and concept plan for the proposed sewer infrastructure to serve all of the parcels shown in the enclosed concept map. The preliminary design will be done utilizing LIDAR data for topography and the City’s GIS database for information on the existing sewer system.

The design efforts will include a spreadsheet capacity analysis for a proposed pump station to convey preliminary flows from the Phase II parcels to the Shawnee PS basin. The analysis will include a check of the downstream gravity sewer system in the Shawnee PS basin to determine if there will be capacity issues that require further analysis. This will be compared with the full southeast service area to determine the amount of development that can be served by this temporary approach. We have assumed that the Shawnee Pump Station, force main, and downstream infrastructure is sufficient and will not be investigated under this scope. Future analysis will be done under a subsequent scope to provide recommendations for the long-term approach to serve the entire service area.

A preliminary construction cost estimate will be provided for the proposed pump station and force main to serve the Phase II parcels to utilize in cost sharing discussions. It is assumed that the gravity sewer piping for the proposed developments will not be cost shared as it would be inherently necessary for the site development. KCI will meet with the City and developers to discuss the preliminary design and cost estimate. We have assumed one (1) meeting will be required.

Estimated Fee for this Task: \$10,000.00

Fees and Payments:

KCI will provide the services outlined above on a Time and Materials basis. KCI’s estimated fee for the Work listed in the Scope of Services above will be **\$10,000.00**. The Work will be invoiced monthly on a time and material basis using the previously approved rates. KCI will notify the City in advance if this budget estimate is anticipated to be exceeded.

Direct Expenses:

Direct Expenses, such as mileage, postage, reproductions, etc., will be billed based on the previously approved Schedule of Rates. Direct Expenses are **expected not to exceed \$500.00**. This amount will be added to the previously approved budget for Direct Expenses.

Additional Work:

Experience indicates that certain additional items of work may be required or necessary which KCI cannot presently determine or estimate. For this reason the fee for these items is not included in the provisions listed above on "Fees and Payments" for the performance of the Work. Further, the performance of these items is not included in the Work unless the item is expressly described as the Work in the preceding Scope of Services section. These additional items of work ("Additional Work") are caused by many factors, usually at the discretion of the Client and/or construction contractors. They may

also be caused by reviewing agency or Client variance/deviation from present policies and standards of reviewing governmental agencies. "Additional Work" may sometimes be referred to as extras, change orders, or add-ons, but for purposes of this Proposal, all such descriptions are intended to be encompassed within the term Additional Work.

- Surveying and geotechnical work.
- Permitting or approvals.
- Checking of work performed by others with the exception of those items specifically listed in the scope of services above.
- Regulatory, filing and review fees.
- Final design work for identified alternatives.

Note: In the event that an extra work authorization is required for an additional project task KCI will not commence the execution of the described work until receiving a signed copy of the extra work authorization.

Fees and Payments for Additional Work:

Fees and payments for Additional Work shall be in addition to any fees and payments for the Work described in the Scope of Services above. Fees and Payments for Additional Work will be billed in accordance with the above Fees and Payments section.

Extra Work Authorization:

If this Proposal is satisfactory, acceptable and fully set forth the terms of our understanding, please sign the Acceptance and return a copy to KCI's office. This Proposal shall be deemed an ADDENDUM to the Contract previously executed between the parties hereto dated March 26, 2018, and all the terms and conditions set forth in the originating contract aforesaid are hereby by reference thereto.

KCI welcomes the opportunity to serve the City and looks forward to working with you on this project. The Project Manager to be assigned to the Work is Jason McClafferty, P.E. and his telephone number is (302) 318-1069.

Respectfully submitted,



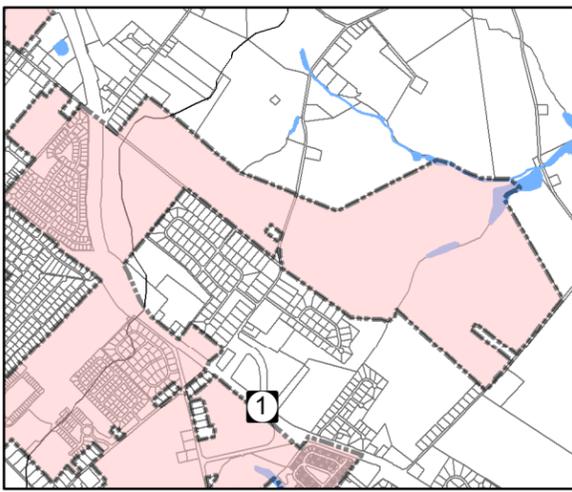
Daniel String, P.E.
Sr. Project Manager

Work Authorized by:

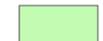
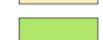
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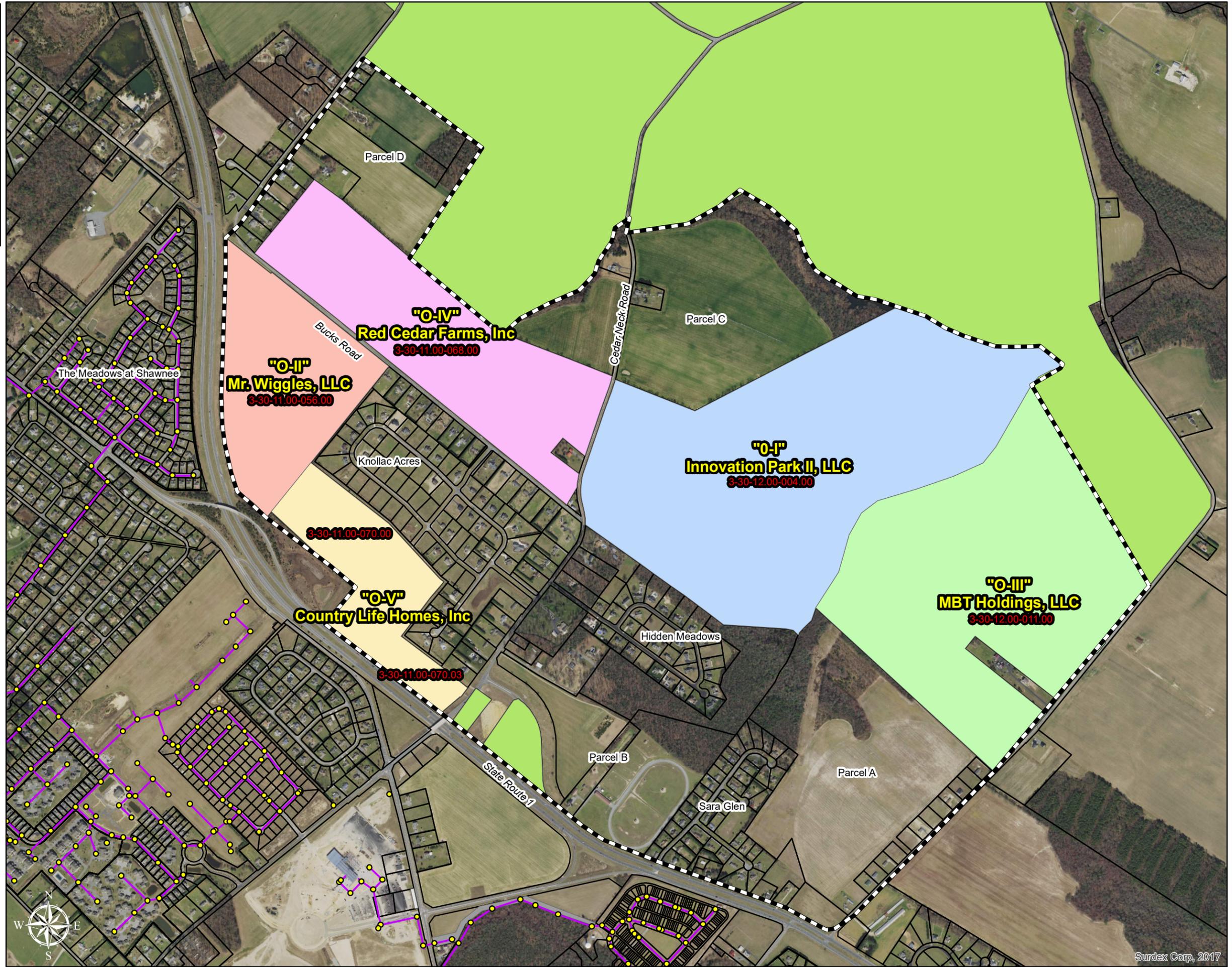
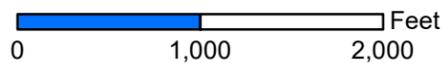
(Title)

(Signature)



**SE Neighborhood - East SR1
Study Area**
Sanitary Sewer Core Infrastructure
Exhibit "A"

-  Proposed Sewer Basin
-  Existing Manhole
-  Existing Gravity
-  Innovation Park II, LLC
-  MBT Holdings, LLC
-  Mr. Wiggles, LLC
-  Red Cedar Farms, Inc.
-  Country Life Homes, Inc.
-  Proposed Open Space



Chapter 11 Implementation

Commitments:

The City of Milford

1. The City will develop and adopt an ordinance to enable to use of transfer-of-development rights (TDRs) credits in receiving zones. This ordinance will enable developers build at up to eight (8) units per acre by-right through the purchase of TDR credits from farms in the sending areas.
2. A stormwater utility is a legal and financial structure to allow stormwater management facilities to be constructed, managed, and maintained in common by a local government or other entity. This master plan area is well suited to such a utility, although there are many ways to structure such an entity. Both the City and DNREC agree to explore this option in more detail as this area develops in accordance with this master plan.
3. The City will construct a public water system as described in Chapter 9 to serve the Master Plan Area. This is a funded project.
4. The City will design and permit a sewer system to serve the Master Plan Area as described in Chapter 9. Private developers will be responsible for funding and constructing this system. The City will discuss various financing and construction options with any developer.

Delaware Department of Agriculture

1. The Delaware Department of Agriculture (DDA) and the Delaware Agricultural Lands Preservation Foundation (DALPF) will partner with the City to establish a Transfer of Development Rights program as described in the Agricultural Preservation chapter of this document (Chapter 4).
2. By partnering with DALPF, the City will avoid the initial financial expenditures required to preserve a parcel of land. These expenditures include paying to survey the property, paying the legal costs of a real estate settlement, and other associated administrative costs. DALPF would bear those costs.
3. The City would avoid the future obligation of monitoring the preserved farms to make sure they remain in compliance with the preservation agreement (easement). DALPF would assume that responsibility and add any properties preserved by Milford to the hundreds of permanently preserved farms it already monitors. In addition, should any

future litigation be required to uphold the preservation easement, the City would not have to incur any legal costs.

4. DDA will assist the City in the creation and administration of a TDR bank as described in the Agricultural Preservation chapter of this document (Chapter 4). This includes assistance with appraisals to set the fair market value of TDR units.
5. In addition to any funds the City would have for agricultural preservation and the TDR bank, they would also be eligible for state matching funds from DALPF, as well as any federal matching funds from United States Department of Agriculture (USDA) Farm and Ranch Lands Protection Program (FRPP). As allowed by law, these matching funds would be awarded to the city based on availability. If the City were able to capture state and federal matching funds, it could significantly leverage its funds with additional money and preserve additional farmland.

Delaware Department of Natural Resources and Environmental Control (DNREC)

1. There is an opportunity for greater communication and coordination between DNREC and DeIDOT with regard to stormwater management and road improvements. This coordination will be ongoing throughout the development of this master plan area. Opportunities to share facilities and streamline the review process will be continually evaluated and implemented as individual properties within the master plan area develop and re-develop. Streamlined review and approval processes will only be available in return for implementing “best practice” designs.
2. DNREC will work with the city to explore and implement the concept of a stormwater utility in the master plan area as development occurs.

Delaware State Housing Authority (DSHA)

If requested, the DSHA stands ready to assist in the development of affordable housing opportunities in the Master Plan Area in the following ways:

1. Work with the Office of State Planning Coordination to further refine its criteria for tax credits, which may give more weight to Master Plan areas such as this one in the future.
2. Continue to provide developers information and resources through its Affordable Housing Resource Center and other sources.
3. Work with the City and the Office of State Planning Coordination on the development of ordinances, such as Form Based Codes, to ensure quality design in the Master Plan Area.
4. Participate with the City on future grant applications to facilitate development in the Master Plan Area.

Delaware Department of Transportation (DelDOT)

1. DelDOT will fund and construct the grade separated interchange at SR 1 and SR 30 as per the current Capital Transportation Plan (CTP). The current timeline involves construction in 2012 and 2013, with completion in late 2013. Please note that the CTP is subject to amendment annually.
2. Work with the City of Milford to adopt this master plan area as a Transportation Improvement District (TID) to enable equitable and timely funding for roadway improvements within the area in accordance with the recommendations in this Master Plan.
3. DelDOT will work with the City to ensure that the road improvements identified in this report are implemented by the public and/or private sector in a phased manner that is paced with the timing of development activities.

Requirements:

Division of Historical and Cultural Resources: Delaware State Historic Preservation Office

1. Any project that involves federal funds or permits must comply with Section 106 of the National Historic Preservation Act.
2. The State Antiquities Act requires that archaeological excavations on state-owned or controlled lands must be done under a permit from the Director of DHCA.
3. Any unmarked human remains that are disturbed during construction must be respectfully handled in conformance with the Delaware Unmarked Human Remains Act.

Recommendations:

Recommendations for Implementation of Agricultural Preservation:

1. DDA recommends that the city require any property developed adjacent to land designated Open Space Agriculture to include a forested buffer between the property and adjacent farmland. This is already required by Sussex County. As a courtesy to Sussex County, the DDA Forest Service reviews the effectiveness of the buffer and makes a recommendation to the County on whether or not to accept the buffer as is, or require modifications. The Department would offer the same service to the City.
2. In addition to a forested-buffer requirement, the Department also asks that the City work with developers on where they “mass” their houses or buildings. Whenever

practical, DDA requests that the City require developers to cluster their approved building lots, and place as much of the residual community open space near adjacent farm parcels. This would further help eliminate or mitigate any conflict that may arise from dissimilar land uses.

3. DDA asks that the city review its zoning ordinances for compatibility with future agricultural business or agriculture related uses. It is important to provide provisions and flexibility in the zoning code to accommodate future agriculture related activities.
4. DDA would note that all properties enrolled in the state's farmland preservation program are afforded the protections listed in Appendix 3. In addition, Sussex County adopted a "mirror" ordinance to provide these protections to all farms located in Sussex County. These protections should be considered during the city's planning process in an attempt to place more compatible land uses next to properties engaged in agriculture. In addition, DNREC's regulations include a restriction on the location of water wells that should be considered.

Recommendations for Protection of the Cedar Creek Natural Area

1. Sections of the wooded areas of the Milford Southeast Neighborhood Master Plan Area are part of the Cedar Creek Natural Area (see Map 5.1). All developments near or adjacent to this Natural Area are recommended to follow the design guidelines regarding protection of the Natural Area, found in Chapter 5.
2. Cedar Creek Nature Preserve is adjacent to the south end of the Southeast Planning Area (see Map 5.1). A number of rare species can be found in association with this habitat type. To protect the rest of this contiguous forest area, it should be designated as a Nature Preserve, a special designation that provides additional protection for an important natural resource area. Such a designation would be achieved with the assistance of DNREC's State Office of Nature Preserves. Should these areas be annexed as envisioned by the Master Plan, Milford will work with private landowners and the State Office of Nature Preserves to promote the dedication of the Natural Area as a Nature Preserve.

Recommendations for the Protection of Specific Conservation Areas

1. When designing development projects within Specific Conservation Areas One, Two and Three (see Chapter 5 and Maps 5.3, 5.4 and 5.5), the land developers and the City will collaborate to ensure that the specific design guidelines related to these important conservation areas are incorporated into the site designs. The design guidelines are specifically listed in Chapter 10.

Transportation Recommendations

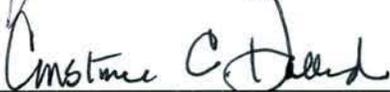
1. Upgrade primary circulation and transit routes (see Chapter 8, and Map 4) to 11 ft. lanes and 5 ft. shoulders.
2. Along these same routes, construct bicycle and pedestrian improvements to ensure interconnectivity, multi-modal connections, and “complete streets.”
3. In order to accommodate increased traffic from new development activities, upgrade the intersections identified in Chapter 8 and shown on Map 4.
4. Encourage the use of TDR to enable higher density developments (up to 8 du/acre) at the designated TDR receiving areas. These areas are planned around bus stops to enable the transit improvements envisioned to operate smoothly.

Signatures:

The undersigned agree to honor the above stated commitments, agreements, requirements and recommendations as they relate to the development and preservation of land within the Milford Southeast Neighborhood Master Plan area. This document, including text and maps, shall guide land development, agricultural preservation, environmental protection, and infrastructure investments in the Southeast Neighborhood Master Plan Area described herein. This document shall be in full force and effect until such time as all parties reconvene and mutually consent to amend this document and the commitments, agreements, requirements, and recommendations.



Mayor, City of Milford



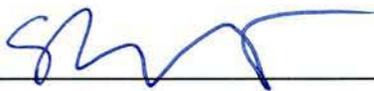
Director, Office of State Planning Coordination



Secretary, Delaware Department of Agriculture



Secretary, Delaware Department of Natural Resources and Environmental Control



Secretary, Delaware Department of Transportation



CITY HALL
201 South Walnut Street
Milford, DE 19963

PHONE 302.422.1111
FAX 302.424.3553
www.cityofmilford.com

To: City Council and Mayor
From: Mark A. Whitfield, City Manager
Subject: Addendum to School Resource Office Contract
Date: August 19, 2021

Due to staffing shortages, the Police Chief has determined it may not be possible to supply three officers as needed, in accordance with the present contract with the Milford School District for School Resource Officers. The Chief has made a commitment for at least two officers for the upcoming school year. Due to the potential reduction in the number of officers, the school district has requested an Amendment to the Agreement to include a cost reduction.

As background, in 2013, the City provided 4 officers for a cost of \$300,000 (or \$75,000/officer). In 2015, the agreement was amended to provide 2 officers at \$75,000 each, or \$150,000. In 2018, a new agreement was signed to provide 3 officers at \$150,000.

The City's annual cost for the two officers is \$257,316. Factoring in a 180-day school year, the cost for the two officers during the school year is \$165,417. Factoring the officers may be completing other police work during school hours, \$125,000 is proposed for the annual cost for the two officers for the 2021-22 school year. Additionally, the City continues to incur the cost of providing school crossing guards, at no cost to the school district.

I also propose the MOU be re-negotiated for the 2022-23 School Year.

RECOMMENDATION: I recommend Council authorize the Mayor to execute the Addendum to the 2018 City Milford Police Department/Milford School District School Resource Officer MOU Agreement.



CITY HALL
201 South Walnut Street
Milford, DE 19963

PHONE 302.422.1111
FAX 302.424.3553
www.cityofmilford.com

To: Kevin Dickerson, Superintendent
From: Mark A. Whitfield, City Manager
Subject: Addendum to School Resource Office Contract
Date: August 12, 2021

This Memorandum is to serve as an addendum to the City of Milford Police Department/Milford School District School Resource Office MOU Agreement made on the 1st day of July 2018. The addendum shall amend Section 1: Cost of the SRO Program, to reflect the new mutually agreed upon cost of \$125,000 per year to support two (2) School Resource Officers assigned to the Milford Schools for the calendar year July 1, 2021 through June 30, 2022. Section 2.E shall be modified that the Police Department will provide two (2) SRO's to the School District. Section 3 Assignment of School Resource Office shall be modified to reflect that the Police Department agrees to provide two (2) School Resource Officers.

It is further agreed this Memorandum shall be in affect from July 1, 2021 through June 30, 2022 only.

Arthur J. Campbell, Mayor
City of Milford

Date

Kevin A, Dickerson, Superintendent
Milford School District

Date

**CITY MILFORD POLICE DEPARTMENT/MILFORD SCHOOL DISTRICT
SCHOOL RESOURCE OFFICER MOU AGREEMENT**

This Agreement is made, this 15th day of July, 2018, by and between the SCHOOL DISTRICT OF MILFORD (hereinafter "School District"), and the CITY OF MILFORD POLICE DEPARTMENT (hereinafter "Police Department") as follows:

WITNESSETH:

WHEREAS, the Police Department agrees to provide the School District a School Resources Officer (SRO) Program in the School District; and

WHEREAS, the School District and the Police Department desire to set forth in this SRO Agreement the specific terms and conditions of the services to be performed and provided by the SROs in the School District;

NOW, THEREFORE, THE PARTIES MUTUALLY AGREE AS FOLLOWS:

1. Cost of the SRO Program.

The cost of the SRO Program shall be paid by the parties as set forth herein. It is agreed that the Milford School District will remit to the City of Milford \$150,000 per year to support three School Resource Officers assigned to Milford Schools each year for two years. (Refer to Terms of Agreement.)

2. Employment of School Resource Officers.

- A. The SROs shall be employees of the Police Department and shall be subject to the administration, supervision and control of the Police Department.
- B. The SROs shall be subject to all personnel policies and practices of the Police Department except as such policies or practices may be modified by the terms and conditions of this Agreement.
- C. The Police Department, in its sole discretion, shall have the power and authority to hire, discharge, and discipline SROs.
- D. A joint committee composed of representatives of the Police Department and the School District shall make recommendations for the SRO positions to the Chief of Police who shall assign such officers. If a principal is dissatisfied with an SRO who has been assigned to that principal's school, then that principal may request to the Superintendent that a new SRO be assigned. The Superintendent will then consult with the Chief of Police to discuss the request.
- E. The Police Department will provide three (3) SRO's to the School District.

3. Assignment of School Resource Officer.

The Milford Police Department agrees to provide three (3) School Resource Officers to the Milford School District to be assigned throughout the district based on need.

4. Duty Hours.

- A. Whenever possible, it is the intent of the parties that the SRO's duty hours shall conform to the school day.
- B. It is understood and agreed that time spent by SROs attending municipal court, juvenile court, and/or criminal cases arising from and/or out of their employment as an SRO shall be considered as hours worked under this Agreement.
- C. In the event of an emergency, SROs may be ordered by the Police Department to leave their school during normal duty hours as described above and to perform other services for the Police Department
- D. In the event an SRO is absent from work, the SRO shall notify his or her supervisor in the Police Department and the principal of the school to which the SRO is assigned. Remaining SRO's in the School District will provide coverage as needed to the school.

5. Term of Agreement.

The initial term of this Agreement is two (2) years commencing on the 1st day of July, 2018 and ending on the 30th day of June, 2020. Following the initial two-year term, this agreement shall be automatically renewed for successive one-year periods unless either party requests termination or modification of this agreement. Any such request shall be made in writing with a minimum of six months' notice. If both parties agree, amendments may be made to the agreement in writing.

6. Duties of School Resource Officers.

The SRO's duties will include, but not be limited to, the following:

- A. To be an extension of the principal's office for assignments consistent with this Agreement.
- B. To be a visible, active law enforcement figure on campus dealing with law enforcement matters and school code violations originating on the assigned campus.
- C. To act as the designee of the campus administrator in maintaining the physical plant of the assigned campus to provide a safe environment as to law enforcement matters and school code violations. This includes building(s), grounds, parking lot(s), lockers and other public school property.
- D. To provide a classroom resource for law education using approved materials.
- E. To be a resource for students which will enable them to be associated with a law enforcement figure in the students' environment.
- F. To be a resource for teachers, parents and students for conferences on an individual basis dealing with individual problems or questions, particularly in the area of substance control.

- G. To make appearances before site councils, parent groups, and other groups associated with the campus and as a speaker on a variety of requested topics, particularly drug and alcohol abuse.
- H. To document activities of all SROs on and off campus and as a compiler of a monthly report to be provided to the Police Department.
- I. The SRO will be involved in school discipline, when it pertains to preventing a potential disruption that would, if ignored, place students, faculty and staff at risk of harm, the SRO will resolve the problem to preserve the school climate.
- J. IN ALL OTHER CASES, disciplining students is a School District responsibility, and the SRO will take students who violate the code of conduct to the principal where school discipline can be meted out.
- K. It will be the responsibility of the SRO to report all crimes originating on campus. Information on cases that are worked off-campus by the Police Department or other agencies involving students on a campus served by an SRO will be provided to the SRO, but the SRO will not normally be actively involved in off-campus investigation(s).
- L. The SRO will coordinate his/her actions with the administrator for law enforcement cases.
- M. All local law enforcement and state agencies requesting to conduct formal police interviews, interrogations, and arrests of any student should be referred to the campus SRO.
- N. The SRO will be familiar with helpful community agencies, such as mental health clinics, drug treatment centers, etc., that offer assistance to dependency- and delinquency-prone youths and their families. Referrals will be made when necessary.
- O. The SRO and the principal will develop plans and strategies to prevent and/or minimize dangerous situations which might result in student unrest.
- P. The SRO will coordinate all of his/her activities with the principal and staff members concerned and will seek permission, guidance, and advice prior to enacting any programs within the school.
- Q. The SRO may be asked to provide community wide crime prevention presentations that include, but are not limited to:
 - 1. Drugs and the law – Adult and juvenile;
 - 2. Alcohol and the law – Adult and juvenile;
 - 3. Sexual assault prevention;
 - 4. Safety programs – Adult and juvenile;
 - 5. Assistance in other crime prevention programs as assigned.
- R. The SROs will wear approved department uniform, formal business attire or business casual with appropriate logos and name badges depending on the time of school year, the type of school activity or program, and the requests of the

school and/or police department. The Chief of Police and the principal shall jointly set expectations and resolve any disputes in this area.

- S. The SROs will wear their department authorized duty weapons in accordance with department policy.
- T. It is understood that at the end of the calendar school year, and until the start of the next school year, SRO's are assigned to the Community Policing Unit and will perform duties within the City of Milford under the direction of their Sergeant.

7. Chain of Command.

- A. As employees of the Police Department, SROs will be subject to the chain of command of the Police Department.
- B. In the performance of their duties, SROs shall coordinate and communicate with the principal or the principals' designee of the school to which they are assigned.

8. Transporting Students.

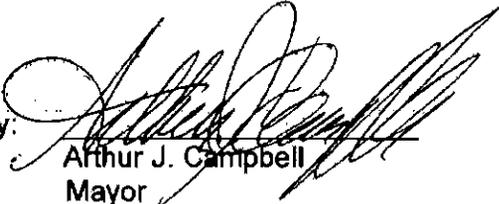
- A. SROs shall not transport students in Police Department vehicles except:
 - 1. When the students are victims of a crime, under arrest, or some other emergency circumstances exist; and
 - 2. When students are suspended and/or sent home from school pursuant to school disciplinary actions, if the student's parent or guardian has refused or is unable to pick up the child within a reasonable time period and the student is disruptive/disorderly and his/her continued presence on campus is a threat to the safety and welfare of other students and school personnel. The SRO will require a member of school staff to ride to the destination.
- B. Students shall not be transported to any location unless it is determined that the student's parent, guardian or custodian is at the destination to which the student is being transported. SROs shall not transport students in their personal vehicles.
- C. SROs shall notify school personnel upon removing a student from campus.

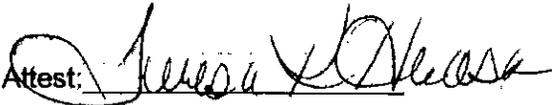
9. Access to Education Records.

- A. School officials shall allow SROs to inspect and copy any public records maintained by the school to the extent allowed by law.
- B. If some information in a student's record is needed in an emergency to protect the health or safety of the student or other individuals, school officials may disclose to the SRO that information which is needed to respond to the emergency situation based on the seriousness of the threat to someone's health or safety; the need of the information to meet the emergency situation and the extent to which time is of the essence.

C. If confidential student records information is needed by an SRO, but no emergency situation exists, the information may be released only as allowed by law.

IN WITNESS WHEREOF, the parties hereto have caused this agreement to be executed the day and year first written above.

By: 
Arthur J. Campbell
Mayor
City of Milford

Attest: 

By: 
Kevin A. Dickerson, Ed.D.
Superintendent
Milford School District

Attest: 

**CITY MILFORD POLICE DEPARTMENT/MILFORD SCHOOL DISTRICT
SCHOOL RESOURCE OFFICER MOU AGREEMENT**

This Agreement is made, this 10th day of Aug, 2013, by and between the SCHOOL DISTRICT OF MILFORD (hereinafter "School District"), and the CITY OF MILFORD POLICE DEPARTMENT (hereinafter "Police Department") as follows:

WITNESSETH:

WHEREAS, the Police Department agrees to provide the School District a School Resources Officer (SRO) Program in the School District; and

WHEREAS, the School District and the Police Department desire to set forth in this SRO Agreement the specific terms and conditions of the services to be performed and provided by the SROs in the School District;

NOW, THEREFORE, THE PARTIES MUTUALLY AGREE AS FOLLOWS:

1. Cost of the SRO Program.

The cost of the SRO Program shall be paid by the parties as set forth herein. It is agreed that the Milford School District will remit to the City of Milford \$100,000 per year per officer (three) for an annual total of \$300,000 for a total of five years. (Refer to Terms of Agreement.)

2. Employment of School Resource Officers.

- A. The SROs shall be employees of the Police Department and shall be subject to the administration, supervision and control of the Police Department.
- B. The SROs shall be subject to all personnel policies and practices of the Police Department except as such policies or practices may be modified by the terms and conditions of this Agreement.
- C. The Police Department, in its sole discretion, shall have the power and authority to hire, discharge, and discipline SROs.
- D. A joint committee composed of representatives of the Police Department and the School District shall make recommendations for the SRO positions to the Chief of Police who shall assign such officers. If a principal is dissatisfied with an SRO who has been assigned to that principal's school, then that principal may request to the Superintendent that a new SRO be assigned. The Superintendent will then consult with the Chief of Police to discuss the request.
- E. The Police Department will provide four (4) SRO's to the School District.

3. Assignment of School Resource Officer.

The Milford Police Department agrees to provide a School Resource Officer to the following schools within the Milford School District:



MILFORD SCHOOL DISTRICT

906 Lakeview Avenue Milford, Delaware 19963-1799

(302) 422-1600 FAX (302) 422-1608

Phyllis Kohel, Ed.D.
Superintendent

Sara Croce
Chief Financial Officer

Travis Moorman, M.ED.
Director of Teaching/Learning

Paul Walmsley, Ed.D.
Director of Personnel

Glen Stevenson, Ed.D.
Supervisor of Ground Maintenance

Sylvia Henderson, Ed.D.
Director of Student Support

Laura L. Manges, M.ED.
Director of Special Education

MEMORANDUM

TO: Bryan Shupe, Mayor

FROM: Phyllis Kohel, Superintendent

DATE: July 16, 2015

SUBJECT: Addendum to School Resource Officer Contract

This memorandum is to serve as an addendum to the City of Milford Police Department/Milford School District School Resource Officer MOU Agreement made on the 12th day of August 2013. This addendum shall amend Section 1: Cost of the SRO Program, to reflect the new mutually agreed upon cost of \$75,000 per year per officer for two officers for the remainder of the contract term. No other terms or conditions of the agreement shall change under this addendum.

Signed: _____

Bryan Shupe
Mayor
City of Milford

Signed: _____

Phyllis Kohel
Superintendent
Milford School District

The Milford School District is an Equal Opportunity Employer and does not discriminate in employment or in educational programs, services, or activities on the bases of race, color, national origin, sex, sexual orientation, age, disabilities, marital status, genetic information or Veteran Status. Contact the Title IX Coordinator or the District 504 and ADA Coordinator, 906 Lakeview Avenue, Milford, Delaware 19963. Telephone (302) 422-1600.

"Commitment to Excellence"

Whitfield, Mark

From: Vitola, Louis
Sent: Wednesday, August 11, 2021 1:51 PM
To: Whitfield, Mark
Subject: FW: SRO requested information

Mark, please see Sandra's email below for costs to staff the SRO contract with Milford and let me know if you have any follow-up questions.

Thanks!
-Lou



Louis Vitola | Finance Director

lvitola@milford-de.gov | O: 302.424.5140 | C: 302.300.7137

10 SE 2nd St. | Milford, DE 19963 | www.cityofmilford.com

From: Peck, Sandra <speck@milford-de.gov>
Sent: Wednesday, August 11, 2021 12:46 PM
To: Vitola, Louis <lvitola@milford-de.gov>
Subject: RE: SRO requested information

	<u>SRO</u>		<u>Budgeted</u>
Sportswood	Officer #1	\$121,997	\$150,000
Master	Officer #2	\$ 135,319	
Crossing Guards (2)		\$6,936	
		\$ 264,253	(\$114,253)
<i>Note: crossing guards in the past have been budgeted higher</i>			
<i>FY20 3 CG slots @ \$12,300 budgeted; based on py actual; now 2 guards</i>			
Actual FY19	12,307	Includes FICA and estimated UC & WC	
Actual FY20	4,423		
Actual FY21	2,830		

\$6,936 is budgeted FY22. Gave you a bit of back history on guards budget and actual in cast interested. SRO costs are from FY22 budget.

Thanks.

Sandra

From: Vitola, Louis <lvitola@milford-de.gov>
Sent: Wednesday, August 11, 2021 11:34 AM
To: Peck, Sandra <speck@milford-de.gov>
Subject: RE: FYI & some action items from today's Staff Meeting

To: Mark Whitfield, City Manager
From: Louis C. Vitola, Finance Director
Date: August 20, 2021
Re: Community Support through the American Rescue Plan Act of 2021 (ARPA)

Executive Summary

Staff recommend that Council establish a Community Grant Program (the “Program”) by formally dedicating a total of \$650,000 (about 10%) of the City’s ARPA allocation to nonprofit organizations serving charitable causes and/or initiatives that broadly benefit Milford residents and businesses.

Background

ARPA guidelines emphasize the importance of responding to the economic impacts of the pandemic in addition to the health impacts. The majority of the City’s budgeted use of ARPA funding directly and broadly benefits Milford residents, particularly in areas served by utility upgrades to improve water quality and sewer systems. In addition to broad utility improvements, ARPA funding has enabled the City of Milford to expand on existing efforts to provide need-based funding to the community through nonprofit organizations. The existing community support initiatives programmed for ARPA funding in the FY22 budget represent about 5% of the City’s ARPA funding. This expansion will push the total allocation of ARPA-funded support for the Milford community to just over 10% of the grant.

Application and Award Process

Funding will be awarded administratively based on ARPA eligibility and the criteria in the enclosed application on a first-come, first-served basis through the ARPA deadline of December 31, 2024 or the exhaustion of Program funding, whichever comes first. Consideration will be given to organizations with application materials demonstrating (1) compliance with ARPA funding restrictions, (2) urgent need, (3) programs maximizing the number of Milford beneficiaries, (4) programs minimizing the ratio of administrative/overhead costs to revenue, and (5) programs that assist individuals with past due City of Milford utility and fee balances as of August 20, 2021. The foregoing criteria will be considered in the context of ranking qualifying applications; the only explicit qualification criteria in the application are that the applicant must be organized as a nonprofit and must comply with ARPA guidelines, among other procedural and documentation requirements.

Marketing and Solicitation

The City will minimize administrative costs by leveraging existing channels for marketing and communications and by limiting submissions, inquiries and compliance requirements to a central portal on the City’s website.

Summary of Recommendations

Staff recommend that Council authorize the establishment of an ARPA-funded Community Grant Program by designating \$650,000 of the City’s ARPA allocation to the Program, which includes the existing \$324,460 of Community Support identified in the FY22 Approved Operating Budget¹ as well as the application-based funding expansion.

enc

cc: Sara Pletcher
Finance Department

¹ See enclosed memo dated June 9, 2021 detailing the allocation of the FY22 Community Support Budget



To: Mark Whitfield, City Manager
 From: Louis C. Vitola, Finance Director
 Date: June 9, 2021
 Re: Responses to Questions Received in FY22 Budget Workshop #2 (June 7, 2021)

During the FY22 Budget Workshop on June 7, 2021, Council requested the following information:

- Detail underlying the proposed \$324,460 in expenditures identified as “Community Support” to be funded through American Rescue Plan Act of 2021 (ARPA) grant receipts, providing temporary relief to the general fund.

Response to #1:

Please see excerpt of selected ARPA-funded community support line items from the City Council page of the proposed FY22 General Fund Expenditure budget:

CITY OF MILFORD BUDGET FISCAL YEAR 2021 - 2022 WORKING COPY EXPENDITURES		EXCERPT FROM CITY COUNCIL BUDGET				
ACCOUNT CODE	DESCRIPTION	ACTUAL FY 19-20	BUDGET FY 20-21	PROJ FY 20-21	BUDGET FY 21-22	Inc/(Dec) vs 21 Proj
GENERAL GOVERNMENT						
101-1110 : CITY COUNCIL						
411-68-16	CARLISLE FIRE COMPANY	140,000	140,000	140,000	140,000	0.0%
411-68-17	MUSEUM	30,000	30,000	30,000	30,000	0.0%
411-68-19	DOWNTOWN MILFORD INC.	45,860	45,860	45,860	45,860	0.0%
411-68-XX	MILFORD PUBLIC LIBRARY	25,000	25,000	25,000	25,000	0.0%
411-68-37	ARMORY EXPENSE	6,659	9,000	7,336	23,600	221.7%
411-68-45	COMMUNITY FESTIVALS	-	60,000	30,000	60,000	100.0%
SUBTOTAL	(EXCERPTED ARPA-FUNDED COMMUNITY SUPPORT ONLY)	\$ 247,519	\$ 309,860	\$ 278,196	\$ 324,460	16.6%

- The latest ARPA guidelines available.

Response to #2:

Please follow link to the guidance released by the US Treasury on May 17, 2021, which was used to inform staff’s proposed allocation of ARPA funding to support (i) projects planned and outlined in the FY22-26 Capital Improvement Plan (CIP) approved by Council on May 10, 2021 and (ii) certain eligible operating support, including the community support detailed in 1.a. above, the recovery of various revenue shortfalls, and the Behavioral Health Unit being established in the Police Department:

<https://public-inspection.federalregister.gov/2021-10283.pdf>

City of Milford, Delaware
American Rescue Plan Act of 2021 (ARPA)
Community Grant Program

The American Rescue Plan Act of 2021 (ARPA) was signed by President Biden on March 11, 2021. It provided a total of \$1.9 trillion in COVID-19 relief funding, including \$19.5 billion specifically targeted to local governments with less than 50,000 citizens. Milford is receiving \$6.33 million in ARPA funding in 2021 and 2022. The City of Milford Fiscal Year 2022 (FY22) Budget directed more than \$300,000 in ARPA funding to local nonprofit organizations regularly supported through annual budget appropriations. However, in recognition of the emergent needs persisting in Milford, like communities across the country, the City is making additional ARPA funding available on a first come, first served basis to nonprofit applicants through December 31, 2024 or the exhaustion of program funding, whichever comes first. A description of the materials required in your application follow. Please direct any questions about the application process using the Grant Opportunities contact information provided on the City of Milford website.

Eligible Uses and Restrictions

All expenditures must satisfy an eligible purpose as stipulated by the U.S. Department of the Treasury (UST) in the Coronavirus State and Local Fiscal Recovery (CSLFR) Funds *Final Rule*, as amended, or for expenditures made prior to the publication of the *Final Rule*, the *Interim Final Rule* (together, the “Rule”). A detailed description of eligible and ineligible activities may be found in the [Interim Final Rule](#)¹. In general, eligible uses of fiscal recovery funds fall under four (4) categories, three (3) of which apply to nonprofit organizations receiving funding through the City of Milford. Recipients must use the funding in one of the following ways:

1. Response to the impacts of COVID-19 in one of two ways:
 - a. Response to the public health emergency, and
 - b. Response to the negative economic impacts related to the public health emergency,
2. Provision of premium pay or grants to provide premium pay for essential workers, and
3. Investment in water, sewer (including stormwater) or broadband infrastructure.

Applicants will be asked to identify which category best defines the intended use of requested program funding as 1a, 1b, 2 and/or 3.

In addition, there are three (3) specific restrictions to the use of CSLFR Funds that apply to nonprofit organizations receiving funding through the City of Milford. Recipients may NOT use the funding:

1. To make deposits into pension accounts,
2. As a matching contribution to a non-Federal grant, or
3. For administrative purposes such as debt service, legal judgments or settlements, or contributions to a reserve fund.

All expenditures made with fiscal recovery funds must comply with the full requirements of Rule.

¹ <https://www.govinfo.gov/content/pkg/FR-2021-05-17/pdf/2021-10283.pdf> as published on May 17, 2021. This link is hosted by the U.S. Treasury and is subject to change. The UST’s website containing current information related to the CSLFR funding for local governments serving a population under 50,000, including the current *Interim Final Rule* and, when available, the *Final Rule*, is provided here: <https://home.treasury.gov/policy-issues/coronavirus/assistance-for-state-local-and-tribal-governments/state-and-local-fiscal-recovery-fund/non-entitlement-units>

Reporting

In order to track all expenditures of CSLRF funds and to fulfil the City's own reporting requirements per UST guidelines, the City of Milford requires full reporting of any activities performed with fiscal recovery funds for any successful applicant (Subrecipient) awarded \$50,000 or more. The report must be presented to the City using the Grant Opportunities submission portal on the City of Milford website by October 15 annually. Subrecipients are also required to register and maintain an updated profile on SAM.gov. General reporting information is available in the [U.S. Department of the Treasury's Compliance and Reporting Guidance²](#), and further reporting information will be provided should your successful application result in a subaward.

Application Requirements

Required Application Sections
A. Cover Sheet (Appendix A)
B. Cover Letter
C. Narrative
a. Organizational Information
b. Purpose of Funding
c. Evaluation Plan
D. Program/Project Budget
a. Itemized Budget (Appendix B)
b. Budget Narrative
E. Submission Process (Including IRS tax-exempt status with all applicable documentation)

A. Cover Sheet

The Cover Sheet is provided below, in Appendix A.

B. Cover Letter

Provide a one-page cover letter that provides information regarding the nature of the program and its purpose. The following elements are required:

- Name of the program
- Purpose of the program
- A strategic reason for the funder to consider the program
- Amount of money requested
- The time period of the program
- The name of the contact person and their contact information

Please have the letter signed by the board president or chairperson and the executive director. If the request is collaborative, please provide signatures of representatives from all participating organizations.

² <https://home.treasury.gov/system/files/136/SLFRF-Compliance-and-Reporting-Guidance.pdf>, Version 1.1 as published on June 24, 2021. This link is hosted by the U.S. Treasury and is subject to change. The UST's website containing current information related to the CSLFR funding for local governments serving a population under 50,000, including the current *Compliance and Reporting Guidance*, is provided here: <https://home.treasury.gov/policy-issues/coronavirus/assistance-for-state-local-and-tribal-governments/state-and-local-fiscal-recovery-fund/non-entitlement-units>

C. Narrative

Provide a description of the funding request that explains your program or project and utilizes the headings described. Feel free to provide additional relevant information.

Avoid duplicating information in different parts of the narrative. Thoroughness is important, but so is brevity. Include the following headings and information:

1. Organizational Information

Provide background on your organization. If you are an affiliate of another organization, please describe.

- State your mission
- Summarize your organization's history
- Outline current programs and activities
- Highlight accomplishments

2. Purpose of Funding

Describe the purpose of the funding and why it is needed by your organization.

- Problem and Need – Identify the problem(s) to be addressed and the needs to be met by the project(s). What unique service(s) would the community be deprived of if you do not undertake this project? Provide supporting data.
- Program/Project Goal(s) – Describe the goal(s) and overall impact of the project or program.
- Program/Project Design – Describe your program objectives, activities, strategies, staffing, partners, timelines and explain how the design will enable you to address the problem or need. Identify the project as a new or continuing program.
- Sustainability – Specify your plans for financing the project after the City of Milford ARPA funding is exhausted.

3. Evaluation Plan

It is important that the program be evaluated for success with the funds, both for the knowledge of the City of Milford, and for the records of programs.

- Outcomes – Describe the proposed program or project outcomes and the general long-range plans of the organization.
- Measurement – Describe how results will be documented and measured, and how success will be determined. Be prepared to follow through with documentation of measurements to report the results to the City of Milford and if applicable, the U.S. Treasury's required compliance.

D. Program/Project Budget

Provide an itemized budget and a budget narrative explaining the details of your program's financial status.

1. Itemized Budget

Provide an itemized budget of the costs and expenditures related to your program. Appendix B is a sample itemized budget in short format. Feel free to populate the sample or provide your Organization's actual budget document.

- Budget Heading – specify the budget period, the requested amount and the total cost of the project.
- Revenue – If the requested amount is different from the total cost of the project, itemize all confirmed and anticipated sources of revenue, and provide a revenue total. Refer to the following example for possible revenue categories. Also, indicate the amount of funds, if any, for this project that will be drawn from your operating budget and/or reserves /endowment fund.
- Expenditures – Itemize your expenses and provide an expense total. Include any additional items relevant to your particular program or project.

2. Budget Narrative (optional)

Feel free to share a budget narrative including any of the following information:

- A list of assumptions on which the budget was based
- An explanation of any unusual budget items
- Description of any in-kind expenses, donations or matching funds
- Funding from or to any affiliates and/or subsidiaries of your organization

-

E. Submission Process

Completed Application consisting of the materials required in sections A through D herein, as well as all applicable IRS correspondence and documentation supporting your response to the Nonprofit Organization Type question in Appendix A must be submitted to the City of Milford using the Grant Opportunities submission portal on the City of Milford website.

Applications will be processed on a first-come, first-served basis until the earlier of December 31, 2024 or the date program funding is exhausted.

Appendix A

Date of Application: _____

Legal Name of Organization: _____ TIN or EIN: _____

Nonprofit Organization Type (Check One and Include Determination Letter, 990 Filing, or other applicable IRS correspondence):

- Charitable Organization, Church or Religious Organization, or Private Foundation, Tax-Exempt Under Section 501(c)(3)
 Private Foundation, Tax-Exempt Under Section 509(a)
 Other Nonprofit Organization, Tax-Exempt Under subsection other than 501(c)(3); Tax-Exempt Under _____
 Other Nonprofit Organization or Community Group (Check Tax Exemption Status Below)
 Tax-Exempt Status Revoked in year _____ Applied for Tax-Exempt Status in year _____ and awaiting ruling
 Applied for Tax-Exempt Status in year _____ and rejected Not applying for Tax-Exempt Status

Year Founded: _____ Current Annual Operating Budget: \$ _____

Contact Name and Title: _____

Contact Email: _____ Contact Phone: _____

Address (principal/administrative office): _____

City: _____ State: _____ Zip: _____

Mailing Address, if different from above: _____

Phone: _____ Alternate Email: _____

Website: _____

Project Name: _____

Purpose: _____

Amount Requested: \$ _____ Total Project Cost: \$ _____

Project Goals: _____

Eligibility Category (select all that apply from Page 1): 1a 1b 2 3

I certify, to the best of my knowledge, that:

1. The enclosed application is true and correct, and
2. This Organization does not support or engage in any form of terrorist activity, and
3. No funding awarded to this Organization will be distributed to or used to benefit any organization or individual supporting or engaged in terrorism, or used for any other unlawful purpose, and
4. All funding awarded to this Organization will be used as intended for an eligible use permitted under the Rule, and
5. I understand that this Organization is required to reimburse the City of Milford for any award determined by the City of Milford, the U.S. Treasury, the State of Delaware Auditor of Accounts or any other state or federal regulatory agency to be in violation of the permitted uses of ARPA funding under the Rule.

Signature

Name & Title

Date

Appendix B

<u>Revenue</u>	<u>Committed Funds</u>	<u>Pending Funds</u>
1. Grants/Contracts/Contributions		
Local Government		
State Government		
Foundations (itemize on separate lines)		
Corporations (itemize on separate lines)		
Individuals		
Other (specify)		
2. Earned Income		
Events		
Publications and Products		
3. Membership Income		
4. In-Kind Support		
5. Other (specify)		
TOTAL REVENUE		
<u>Expenditures</u>	<u>Amount Requested</u>	<u>Total Project Expenses</u>
Personnel		
Salaries		
Executive Director		
Staff Position #1 (rename)		
Staff Position #2 (rename)		
Payroll Taxes		
Benefits		
Consultants and Professional Fees		
Travel/Professional Development		
Operations		
Rent		
Utilities		
Telecommunications		
Postage/Messenger		
Printing and copying		
Equipment		
Supplies		
Other		
TOTAL EXPENDITURES		
<u>Surplus (Deficit)</u>		
TOTAL REVENUE		
TOTAL EXPENDITURES		
TOTAL SURPLUS (DEFICIT)		



The governing body has recessed to Executive Session. The regular meeting will resume shortly.

CITY COUNCIL MEETING



Executive Session
has concluded.
Council has returned to
Open Session